

VILLAGE OF LAKE BLUFF
ARCHITECTURAL BOARD OF REVIEW

TUESDAY, JUNE 7, 2016 – 7:00 P.M.

VILLAGE HALL BOARD ROOM
40 E. CENTER AVENUE, LAKE BLUFF, ILLINOIS

AGENDA

1. **Call to Order and Roll Call**
2. **Consideration of the May 3, 2016 Architectural Board of Review Meeting Minutes**
3. **Non-Agenda Items and Visitors (Public Comment Time)**
The Architectural Board of Review Chair and Board Members allocate fifteen (15) minutes during this item for those individuals who would like the opportunity to address the Board on any matter not listed on the agenda. Each person addressing the Architectural Board of Review is asked to limit their comments to a maximum of three (3) minutes.
4. **A Discussion of Proposed Design Guidelines for Central Business District Block Two and Three**
5. **Staff Report**
 - **Next Regular Meeting – July 5, 2016 (1st Tuesday)**
6. **Adjournment**

The Village of Lake Bluff is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact R. Drew Irvin at 234-0774 or TDD number 234-2153 promptly to allow the Village of Lake Bluff to make reasonable accommodations.

**VILLAGE OF LAKE BLUFF
ARCHITECTURAL BOARD OF REVIEW
REGULAR MEETING
MAY 3, 2016**

DRAFT MINUTES

1. Call to Order and Roll Call

The meeting of the Architectural Board of Review (ABR) of the Village of Lake Bluff was called to order on May 3, 2016 at 7:00 p.m. in the Village Hall Board Room (40 E. Center Avenue) and the following were present.

Present: Neil Dahlmann
Matthew Kerouac
Stephen Rappin
Carol Russ
Bob Hunter, Chair

Absent: Edward Deegan, Member
John Sorenson, Member

Also Present: Mike Croak, Building Codes Supervisor (BCS)
Drew Irvin, Village Administrator
Brandon Stanick, Assistant to the Village Administrator

2. Consideration of the April 5, 2016 ABR Regular Meeting Minutes

Member Rappin moved to approve the minutes of the April 5, 2016 ABR meeting as presented. Member Kerouac seconded the motion. The motion passed on a unanimous voice vote.

3. Non-Agenda Items and Visitors (Public Comment Time)

Chair Hunter stated the ABR Chair and Board Members allocate fifteen minutes during this item for those individuals who would like the opportunity to address the Board on any matter not listed on the agenda.

There were no requests to address the ABR.

4. Consideration of a Sign Permit and Awning for the Marvin Design Gallery at 930 North Shore rive

Chair Hunter introduced the agenda item.

Mr. Bill Goodman briefly summarized the request noting the color of the awning will change from black to white.

Member Rappin stated the awning looks just as good as the previous awning.

Members Russ, Kerouac, Dahlmann and Chair Hunter expressed their agreement with Member Rappin.

Member Dahlmann made a motion recommending that the Village Board approve exemptions to the Sign Code to allow signage be attached to the main portion of the awning and to allow the lettering of the sizes shown. Member Russ seconded the motion. The motion passed on a unanimous voice vote.

5. Consideration of a Sign Permit for United Services at 46 Sherwood Terrace

Chair Hunter introduced the agenda item.

BCS Croak stated the ABR may consider final approval because the sign complies with Village Code.

Member Dahlmann had no comments.

In response to a comment from Member Kerouac, BCS Croak stated this is a two sided sign.

Member Russ expressed concern regarding the size of the letters and legibility of the sign but noted the sign looks great to her otherwise.

Member Rappin expressed his agreement with Member Russ that the sign is a little busy and somewhat out of alignment but it complies with Village Code therefore he is okay with the request.

Chair Hunter had no comments.

Member Kerouac moved to approve a ground sign for United Services, Inc. as submitted. Member Dahlmann seconded the motion. The motion passed on a unanimous voice vote.

6. A Discussion of Proposed Design Guidelines for Central Business District Block Two and Three

Chair Hunter introduced the agenda item.

BCS Croak stated the yellow highlighted areas of the draft downtown design guidelines have been revised in response to the past comments.

Member Russ questioned page 24, paragraph #1; Chair Hunter stated the comment established how the sidewalk should look.

Member Rappin stated there may be an easier way to say that, in terms of being more consistent with existing sidewalks on the north side of Scranton Avenue.

Chair Hunter stated that this is not a code sort of an informational booklet with a lot of background information based on how some of the images came to be and asked if it was necessary to keep that information intact or can it be a historic document.

BCS Croak asked if the appendix should be kept as part of the legal document or as supplemental information. Village Administrator Drew Irvin stated it should be kept with the document because there are elements in there which are zoning code and comprehensive land

use orientated, and design guidelines which can be codified. Ultimately, there will be some pieces that will result in zoning code amendments, land use plan amendments, and then the balance of the plan will probably be put into the land use plan as an appendix, as there is value in historic information.

In response to a comment from Chair Hunter, BCS Croak stated Staff had recommended including a statement “Photographs are intended to illustrate what is discussed in caption and other aspects of the photograph may not be suitable for development in Lake Bluff”.

Member Kerouac stated these are all basic concepts which do not need much illustration because the goal is to establish a precedence which is different than what is depicted in the pictures.

Mr. Thomas McAfee (resident) provided information on the height of his home and stated he is confused because when talking about some of the design attributes when we are not sure how we are going to conclude on the scale, it is hard to reconcile both of these because the design characteristics of two-story or single-story are going to be different. Mr. McAfee stated three story structures are not consistent with North Avenue. He expressed his understanding we are trying to provide collective guidance to developers but it is also important for us to decide on some of the scale limits as this could drive the viability of some redevelopments. He stated his struggle is with density and the desire to have the density necessary to support an economic price point that works for the developer or support diversified housing stock. A discussion regarding building height followed.

Chair Hunter commented on Block Two and Three redevelopments and noted that Block Three may continue to be proposed as all residential. In order to pay for the property along it would have to be a three-story development of some sort to be economically feasible. Also, parking will drive the redevelopment of Blocks Two and Three.

Mr. McAfee asked why the economic viability of a developer is driving the decision on what is appropriate for Blocks Two and Three. Chair Hunter stated the goal is to develop a certain kind of envelope that would allow developers to do projects that are feasible so the property does not remain vacant. A discussion followed.

Member Dahlmann talked about the Teska study done in the mid 1990’s, and showed the Board a news article from 1966 discussing a study on apartment housing in Lake Bluff that was done by the League of Women Voters.

Mr. Rick stated his father met resistance when he proposed to build townhomes on the 8 acres of land along Green Bay Road at the south end of town. He stated the land has since been subdivided into single-family homes and expressed his opinion that the Village would look much different today if there were townhomes built on Green Bay Road.

Chair Hunter stated nobody likes changes but Tanglely Oaks and Belle Forest Subdivisions both turned out really well.

Mr. Rick commented on building height and setbacks and noted the library setback is approximately 25 ft. from the curb line before you get to the 35 ft. roof. Mr. Rick stated you are talking about the same view scape of the same area, the same part of town, and there needs to be division for whatever is redeveloped on North Avenue and Block Three. He stated all the pieces have to fit together and have some sort of setback concept which will allow all the neighborhoods to flow together. Mr. Rick stated Blocks Two and Three redevelopment cannot be view independently. He stated setbacks should be considered throughout the entire concept and noted that view scape is an important aspect of the Village. A discussion followed.

Ms. Julie Stevenson (resident) stated her husband was involved with the Block One redevelopment and suggested the Boards listen to residents from the past to make these redevelopments look as good as possible. Ms. Stevenson asked if there is really a need for the third story.

Member Kerouac made a motion to recommend that the PCZBA establish a daylight plane requirement where we establish a height on the building facade on all four sides, and from that point create a daylight plane for the third floor. Member Russ seconded the motion. The motion passed on a unanimous voice vote.

Village Administrator Irvin stated it is not necessarily a bad thing if you put language in the design guidelines as well as make a recommendation to codify it in the zoning ordinance.

Following their discussion the commissioner expressed their preference to i) clarify streetscape specifically sidewalk paving materials, visibility, access and outdoor seating, ii) fewer photographs, iii) for setback recommendations, iv) building height, v) visibility of third floor from ground level and vi) apply a daylight plan restriction to the third floor to further regulate building height.

Chair Hunter opened the floor for public comments

Mr. Rick ____ asked why are there were not many pictures of Lake Bluff commercial buildings in the draft guidelines and why are they not being used as the starting point. He expressed his preference to have the illustrations depict what Lake Bluff currently looks like.

Mr. Mark Stolzenburg (resident) asked if the planning principles were more appropriately directed to the ABR or Joint Plan Commission and Zoning Board of Appeals. Chair Hunter stated that is the preview of the PCZBA.

BCS Croak provided the ABR with a photograph and asked for feedback regarding a streetscape bench that could be used around trees to protect the front of Block One. Member Russ stated it would look great on Center Avenue parkway.

Chair Hunter provided an update on the Mariani Streetscape design.

7. Staff Report

Chair Hunter reported the next regular meeting will be on June 7, 2016.

8. Adjournment

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8. Adjournment

There being no further business to consider, Member Dahlmann moved to adjourn the meeting. Member Rappin seconded the motion. The motion passed on a unanimous voice vote. The meeting adjourned at 8:20 p.m.

Respectfully submitted,

Mike Croak, CBO, CBCO
Building Codes Supervisor

VILLAGE OF LAKE BLUFF

Memorandum

TO: Chairman Hunter and Members of the Architectural Board of Review

FROM: Mike Croak, Building Codes Supervisor

DATE: June 3, 2016

SUBJECT: **Agenda Item # 4 - A Discussion of Proposed Design Guidelines for Central Business District Block Two and Three**

At the May 3, 2016 Architectural Board of Review meeting, the ABR decided to recommend two modifications to the Design Guidelines. They decided to choose photos to recommend for deletion from the guidelines and they decided to add a recommendation that a new daylight plane regulation be established to require any third floor to be set back from the second floor.

After the May 3 meeting, ABR members had an opportunity to send in a list of photos that they recommend for deletion from the Design Guidelines. I received comments from Chairman Hunter and Member Russ. In the attached copy of the Design Guidelines, each of the photos that either one recommended for deletion are crossed out.

Staff has drafted the following proposed text to reflect the ABR's suggestion that a new daylight plane regulation be established for any third floor of new buildings downtown:

“The third floor of any building that is part of a Planned Mixed Development, other than detached single family homes, shall be set back so that it is below the Downtown Daylight Plane. The Downtown Daylight Plane shall be defined as a line beginning at the intersection of the exterior of the second floor walls with the extended plane of the floor surface of the third floor and continuing inward at forty five degree angle towards the interior of the building. Parapet walls, guardrails, and chimneys are permitted to extend into and through the downtown daylight plane. Rooftop mechanical units, elevator bulkheads, and stairs shall remain below the Downtown Daylight Plane.”

The ABR should consider whether or not there should be any additional exceptions from the Downtown Daylight Plane, such as dormers or gable roof ends (the single family daylight plane allows 20' of gable end) or a limited amount of the front façade to allow more articulation to the building, such as the way the third floor of the 18 E Scranton Avenue portion of the Block 1 building projects forward of the mansard roof that is above 16 & 20 E Scranton Avenue. The ABR should also consider whether any of the exemptions to maximum height in the Zoning Code should also apply to the Downtown Daylight Plane, such as ornamental towers like the Block 1 cupola.

If you should have any questions regarding this matter, please feel free to contact me at 847-283-6885.

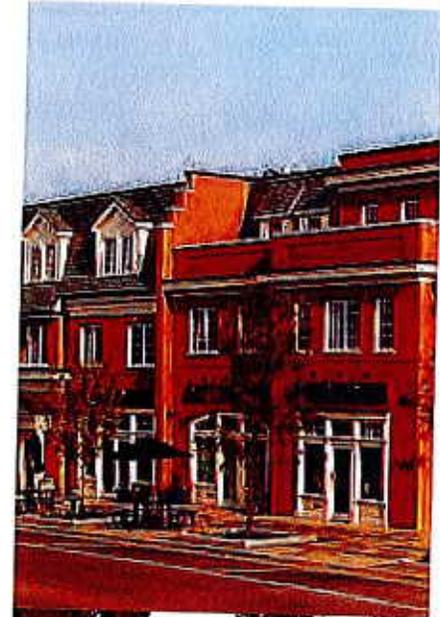
Recommendation:

The ABR should make a motion to recommend to the PCZBA that the Design Guidelines be approved with the deletion of the photos that the ABR desires to delete.

The ABR should make a separate motion to recommend to the PCZBA that the draft text for the Downtown Daylight Plane be incorporated into the Design Guidelines as a new requirement.

Attachments:

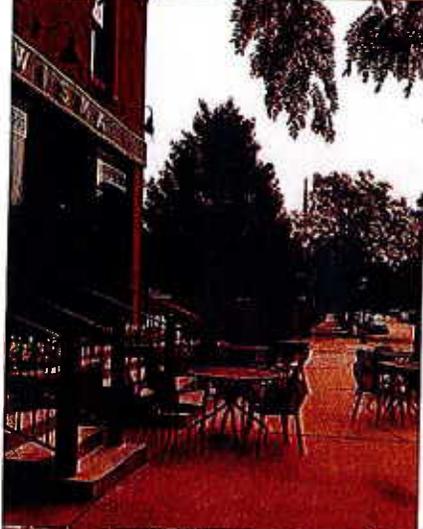
- Design Guidelines with indication of photos to be deleted
- Proposed Downtown Daylight Plane
- Existing R-1 through R-5 Daylight Plane Requirement
- Existing Height Exemptions



1

LAKE BLUFF DOWNTOWN SUBAREA VISIONING

BLOCKS TWO & THREE ARCHITECTURAL & STREETScape DESIGN GUIDELINES



2

FEBRUARY 1, 2016
WORKING DRAFT

PREPARED FOR:



**NORTH SHORE LIFE
LAKE BLUFF STYLE**

THE VILLAGE OF
LAKE BLUFF

PREPARED BY

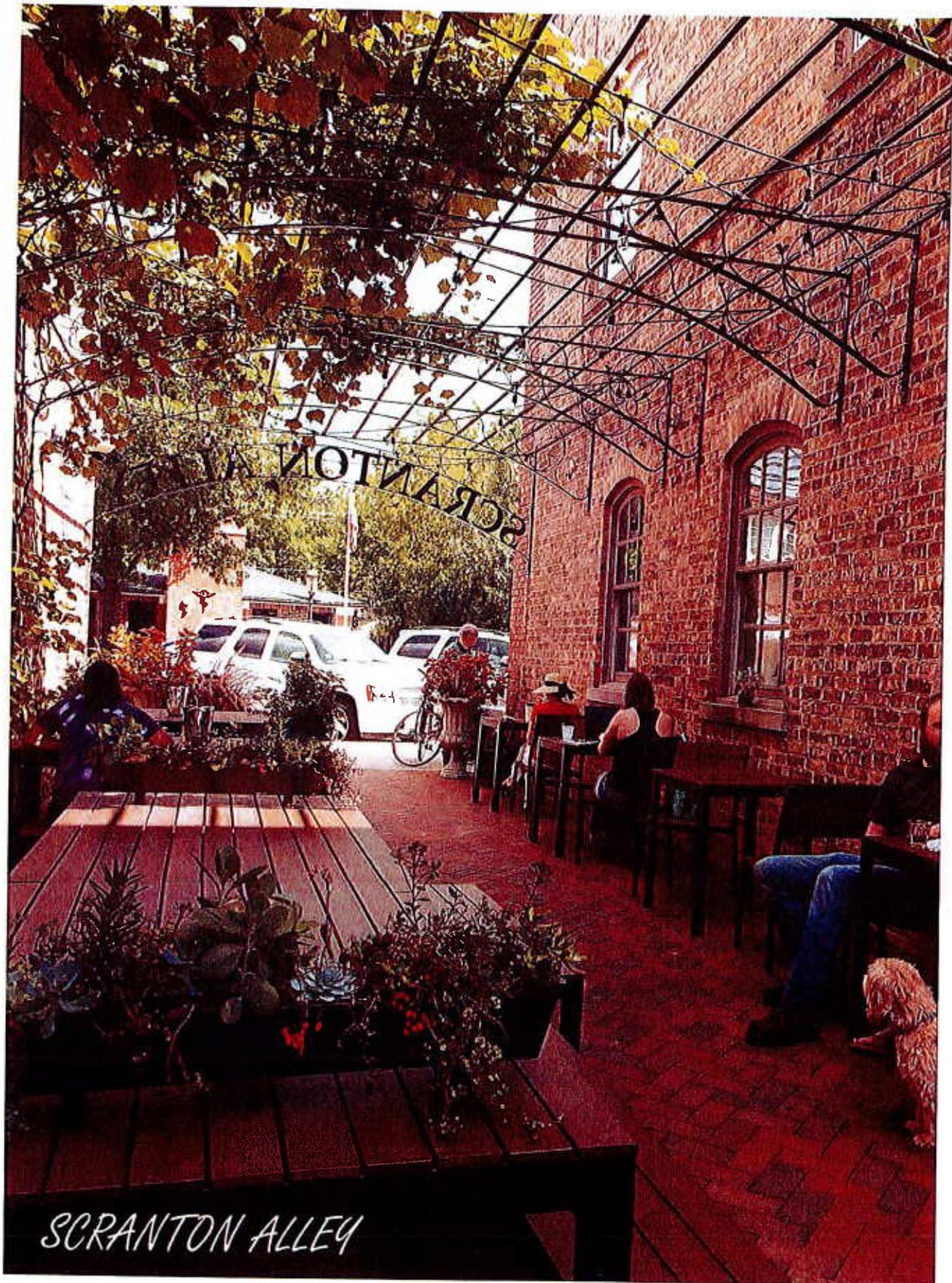


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February 1, 2016



SCRANTON ALLEY

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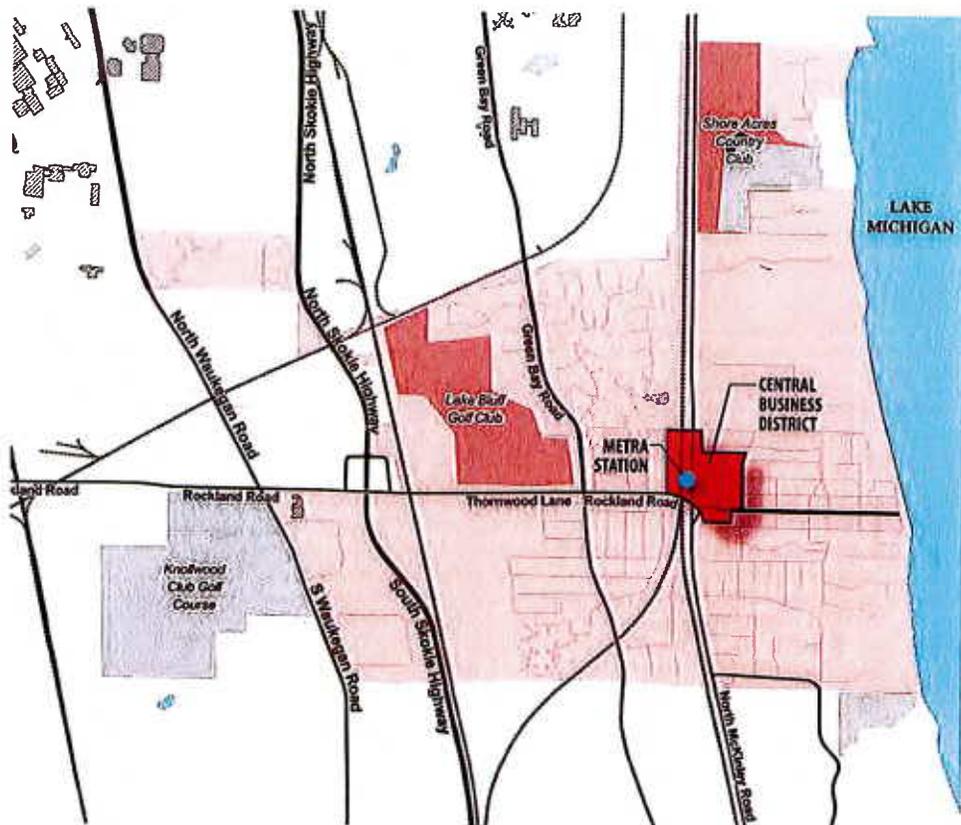
APPENDIX: VISUAL PREFERENCE SURVEY RESULTS

INTRODUCTION

The Village of Lake Bluff is distinguished by its casual small town charm amongst Chicago's North Shore Communities. Lake Bluff's Central Business District (CBD) plays a key role in setting the stage for the high quality of life enjoyed by the community, including:

- Access to destinations and municipal services, including the lakefront, Metra station, quality shopping and dining, Library, History Museum, Public Safety Building and Village Hall;
- Compact urban form of roadways and buildings that promote walkability and social interaction;
- Proximity to quality open spaces, such as the Village Green, that supports community events, such as Farmers Markets and the 4th of July Parade;
- Quality building architecture that references traditional forms and materials while supporting modern community needs.
- Presence of historic buildings as documented on the National Register of Historic Places

This Downtown Visioning project follows the Village's 1997 Comprehensive Land Use Plan and 1998 Plan for the Central Business District (prepared by Teska Associates). As portions of these plans have come to fruition over the past several years, the Village retained Teska Associates to conduct public outreach and guide architectural and streetscape design guidelines for the next phases of enhancements to the CBD. This may influence future zoning amendments and redevelopment.



SUMMARY OF 1998 CBD PLAN

“The CBD Plan: Phase Two of the Lake Bluff CBD Planning Study” (June 1998) was endorsed by the Village of Lake Bluff. This Plan supported the Village Board’s goals to promote CBD revitalization as stated in the Village’s Comprehensive Plan (1997). The plan supports the concept of a traditional CBD embodying a balanced mixture of retail, office and service, civic, and residential uses.

The Land Use concept supports a mix of uses located within a compact CBD environment, including retail, service, office and open spaces. Land Use areas were organized into Blocks One through Four as identified below.

Overall goals of the CBD Plan are:

- Opportunities for local residents – shopping, services, employment and business development;
- Economic vitality – productivity, financial performance and fiscal health;
- Sense of place – an attractive and memorable visual image;
- Spirit of community – that which brings people together;
- Residential harmony – appealing living environments within and/or adjacent to the business district.

EXISTING CONDITIONS MAP



Historic District Boundary as delineated in the United States Department of the Interior National Register of Historic Places Continuation Sheet, Nov 15, 2006



The CBD Plan identified the Village Green as a key open space that contributes to CBD character. Development of municipal parking lots was encouraged to support the land use mix, including the development of a pedestrian-oriented, shopping street along Scranton Avenue. Private redevelopment projects were identified in this plan, and were articulated with possible site layout scenarios, parking & circulation patterns and architectural & streetscape design guidelines.

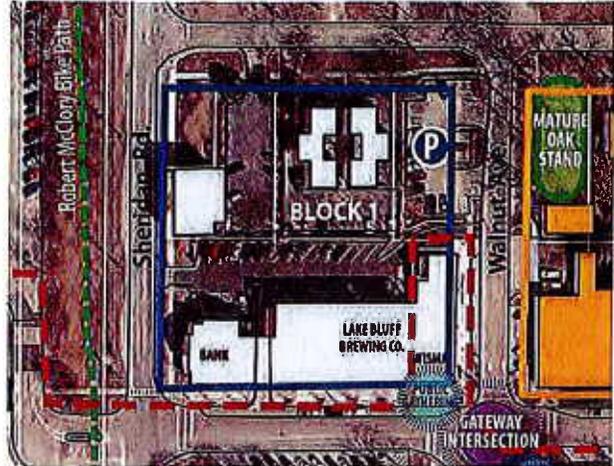
Streetscape design enhancements are identified in the plan, including expansion of the Village's lighting standard, development of gateway entrances and provisions for public art throughout the CBD.

Zoning recommendations were proposed, including an increased building height allowance, towards increasing private investment interest while protecting the visual character of the CBD.

DEVELOPMENT OF BLOCK ONE

The recommendations outlined within the 1998 CBD Plan provided guidance towards the redevelopment of Block One. Located just steps from the Metra Station and Village Green, Block One is bounded by Scranton Ave, North Ave, Sheridan Rd and Walnut Ave. The current development includes a mixture of uses, including retail and commercial office and surface parking at the rear. Ground floor commercial uses, such as the Lake Bluff Brewing Company, Maeverly's and Wisma, among others, are very successful dining destinations that provide outdoor seating and enliven the Scranton Avenue streetscape.

As articulated in the 1998 CBD Plan, the building design for this block respects the three story maximum height limit. Architectural style is respectful of the Lake Bluff train station, the historic Village Market building (Wisma) and nearby residences along North Avenue. Building facades were designed to reduce the impact of building mass and appear as several smaller buildings with traditional masonry detailing, storefront windows and awnings. CBD Streetscape treatments were extended along Scranton Ave to Sheridan Road. North Avenue is a neighborhood street including continuous sidewalks, lawn parkways and shade tree plantings.



Existing Development Block One



View to Lake Bluff Brewing Company Block 1

5



Parking provided in the rear of the development

6

DESCRIPTION OF BLOCKSTWO AND THREE

The Downtown Visioning Plan will provide a long-term vision for improvements to certain blocks within the Central Business District (CBD). As a follow up to the Downtown CBD Planning Study prepared by Teska Associates (1998), the Downtown Visioning Program utilized outreach methods to build consensus around a community vision for key redevelopment parcels within the downtown area, namely the following two areas:

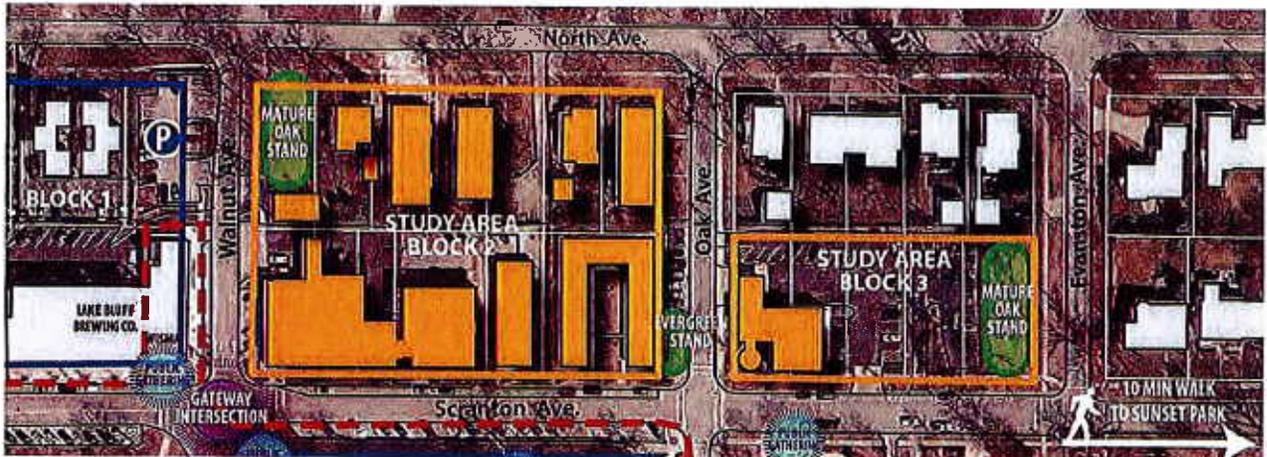
- Scranton/Oak/North/Walnut (identified in the Village's Zoning Code as "CBD Block Two")
- Scranton/Oak/Evanston (identified in the Village's Zoning Code as "CBD Block Three")

Existing Conditions

These blocks are characterized by the US Post Office, commercial offices, businesses, former PNC Bank and surface parking fronting on Scranton Avenue. One-story multi-family rental uses fronting on North Avenue. One residence at 105 East North Avenue was identified in the 1998 CBD Plan as being of "architectural significance." Due to vacancies and underutilized properties within Blocks Two and Three, these areas may be considered opportunities for redevelopment compatible with the CBD.

Proposed Land Uses

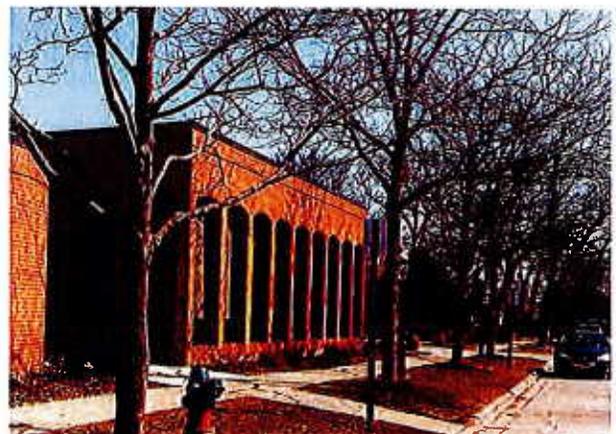
As identified in the 1998 CBD Plan, the proposed land use mix includes a compatible mixture of "specialty retail and service shops, small eating places, financial institutions, offices and multi-family residences". These land uses are considered to be compatible with the current CBD land use mix.



Existing Development Block Two and Three



Existing Block Two development along Scranton Ave



Former PNC Bank in Block Three

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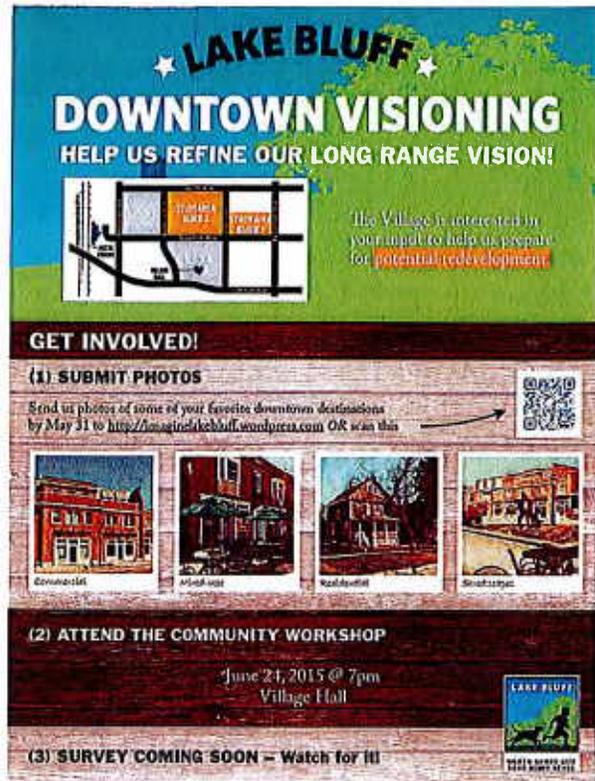
SUMMARY OF THE COMMUNITY'S VISIONING ACTIVITIES

Although the 1998 CBD Plan Identified some site development scenarios, the Village took this opportunity to conduct outreach activities with the community towards guiding design and development standards for Blocks Two and Three.

Teska conducted the following outreach activities:

- Project Website:** The Imagine Lake Bluff website provided project information and announcements. The website invited the community to upload photos, from April 24 to May 31, 2015, for use in the Visual Preference Survey. Relevant photos were utilized in the Visual Preference Survey and Open House activities on June 24, 2015.
- Visual Preference Survey:** The Visual Preference Survey was issued via Survey Monkey. The purpose of the survey was to obtain community preferences relative to downtown redevelopment, including site layouts, building treatments, landscape and streetscape enhancements. The survey was open June 17 – July 31, 2015 and yielded 283 respondents.
- Open House Visioning Workshop:** The Workshop was attended by a variety of stakeholders, including elected and appointed officials, CBD property owners and merchants, as well as members of the community, comprising approximately 40 people. Participants were invited to identify their most and least preferred downtown development treatments via green and red stickers respectively. The Workshop took place at Village Hall on June 24, 2015 at 7pm. Workshop photos are displayed on the project website.
- Distribution and communications:** Outreach activities were announced and distributed to the community via the following channels: Village Website; Posters in Village Hall, Metra station, Library, Lake Bluff History Museum, businesses; Announcement in Village newsletter; Press releases; e-blasts to the community and invitations to the members of the ABR/PCZBA.

Additional information and analysis of all outreach activities can be found in the Appendix section of this report.



Outreach and communication poster material



Attendees of the June 24, 2015 workshop held at Village Hall

PURPOSE AND INTENT OF THE DESIGN GUIDELINES

The recommendations described in the Design Guidelines are derived from a documented community outreach program and best design and planning practices. The design guidelines are intended to promote the vitality and economic health of Lake Bluff's downtown area by providing design direction on the type, character and quality of the built environment that unify Blocks Two and Three with the surrounding CBD area.

The purpose of the guidelines is to implement the general policies and recommendations of *The CBD Plan: Phase Two of the Lake Bluff CBD Planning Study*, prepared in 1998, by providing more detailed guidelines and specifications governing building architecture and improvements to public streetscapes within Blocks Two and Three of the CBD. The Design Guidelines are tools for communicating the design intent for future redevelopment and evaluating proposals. The overall goal is to ensure quality development that employs sound planning and design principles. The purpose of the guidelines is not to dictate a specific plan for the properties located in the CBD, but rather establish a set of standards and identify elements of building and streetscape design that should be encouraged in the downtown.

Design guidelines are an important means of building the economic prosperity of the CBD through the implementation of a unified vision that will continue to promote the themes and characteristics that are unique to Lake Bluff. Since, like most suburban communities, the downtown is no longer the sole center for the Village's retailing and service needs, it must be able to compete with other areas in the Village and surrounding communities that also offer these services. This can be most effectively done by conserving and creating a high quality environment, with an inviting image, that has its own unique sense of place.

The design guidelines are part of the design review that ensures new development, redevelopment and remodeling enhances the visual quality and identity of downtown Lake Bluff. The goal is to build upon the existing attractive CBD destinations with an appealing atmosphere that reflects harmony and continuity in building design and streetscape improvements. The objective is to continue to promote Lake Bluff's downtown center as a pedestrian-friendly environment that fosters civic pride and ownership, promotes a sense of place, and offers a feeling of security. Good design increases property values when these goals are achieved.

The concept of development review is not new in Lake Bluff. Existing building and zoning codes regulate the use of property and set standards for building height, setback, landscaping and parking. Design review, however, works to ensure that new construction, and changes to existing buildings in the downtown, are compatible with the character of the community.

The successful implementation of these guidelines will reinforce the downtown area's unique image as a distinct and inviting place to live, work, shop, and gather, which offers a unique appeal not found in other commercial areas of the Village.

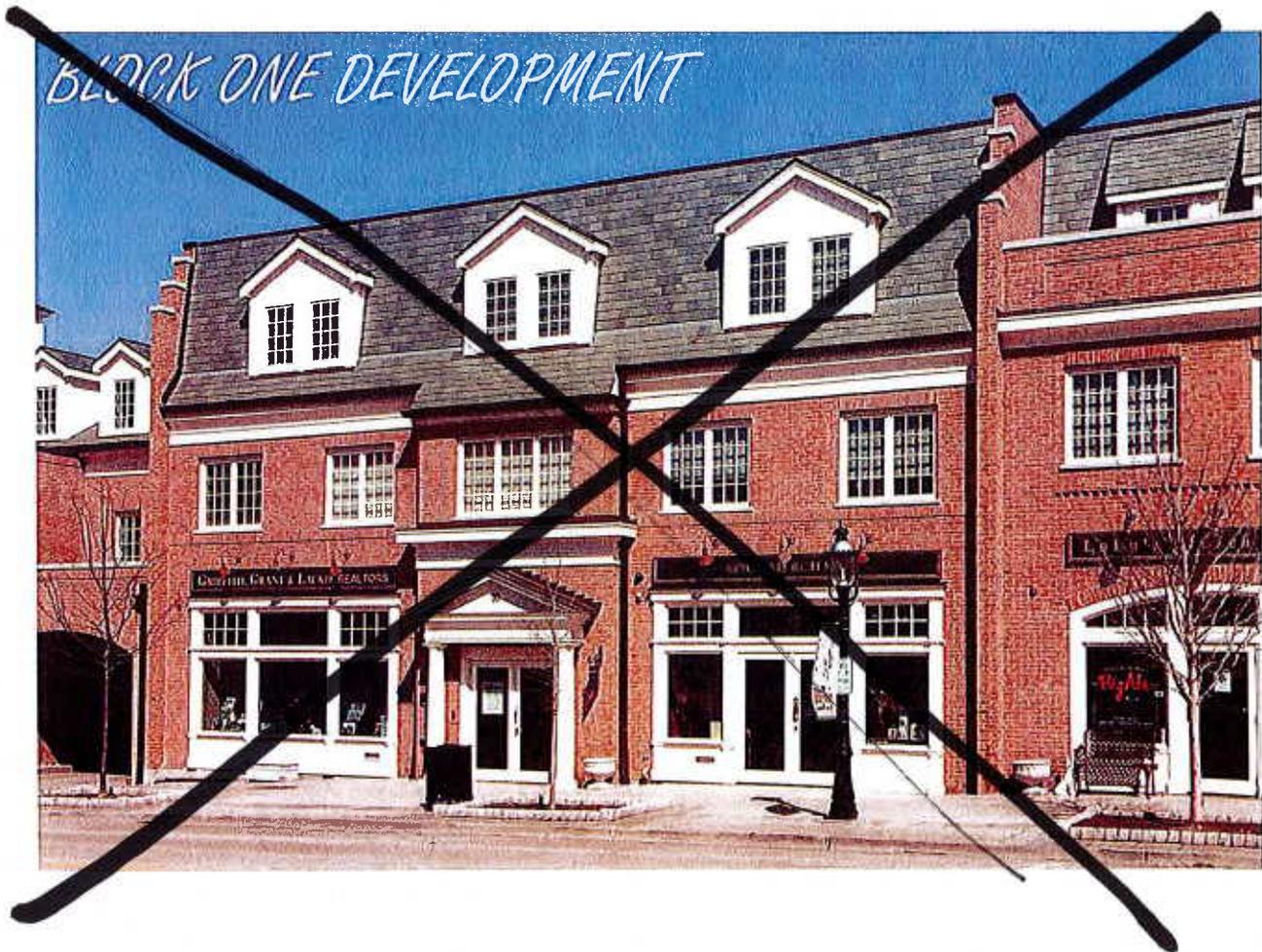
INTRODUCTION TO THE DESIGN GUIDELINES

Lake Bluff has long been associated with a charming, walkable downtown environment nearby to lakefront homes and pedestrian friendly open spaces. Vernacular architecture found within the Village reflects Lake Bluff's cultural history as a resort destination that provided religious, social, cultural, educational and recreational programs within Lake Bluff's unique lakefront and ravine settings. Per the publication entitled "Village of Lake Bluff, Illinois: A Summary and Architectural Survey" (Historic Certification Consultants, 1998), cottage, bungalow and American Foursquare were identified among the vernacular house types in Lake Bluff. Multiple properties within the CBD are documented on the National Register of Historic Places as indicated on the Existing Conditions Map pg 2.

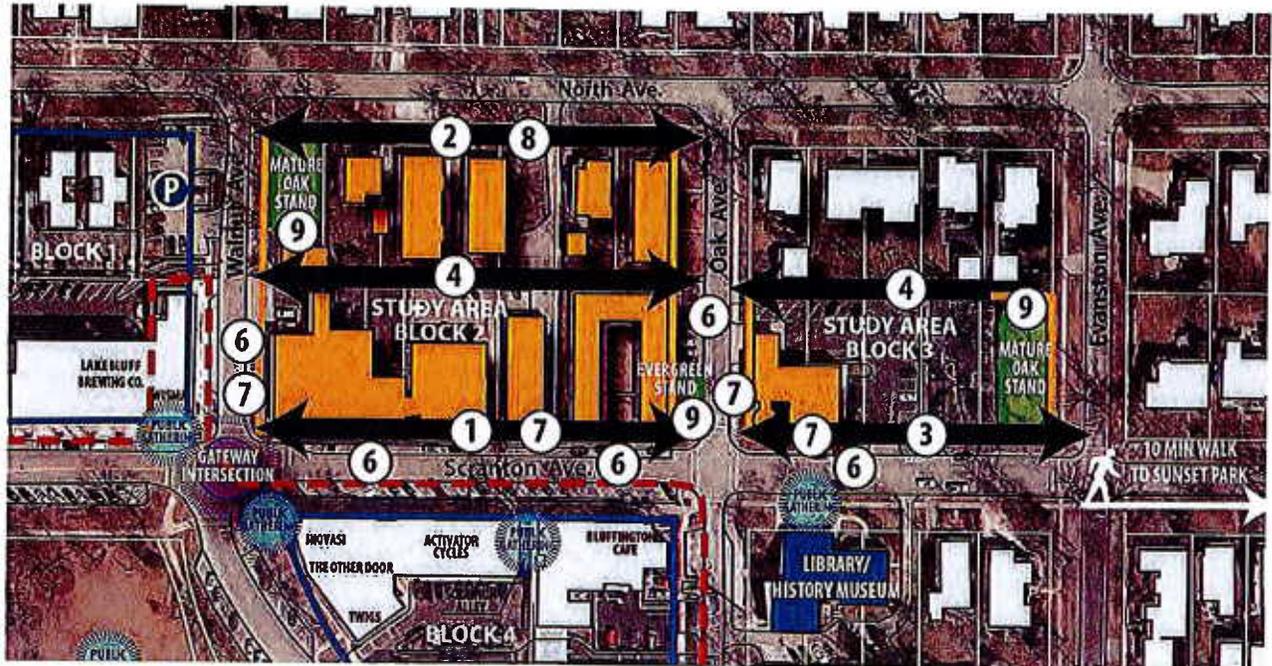
Commercial properties located within the CBD incorporate traditional storefront treatments, masonry materials and parking oriented towards the rear. Surrounding the CBD, residential properties incorporate a range of architectural expressions including cottage and bungalow style architecture.

Although these treatments are considered part of the Village's architectural style, it should be noted that these treatment types are also ranked as 'most preferred' during the public outreach activities.

The Architectural Design Guidelines referenced herein incorporate building treatments that are preferred by the community and are also considered part of the vernacular style of Lake Bluff.



PLANNING PRINCIPLES



The following planning principles have been identified for Blocks Two and Three of the CBD:

1. Where Block Two abuts Scranton Ave, ground floor commercial uses, compatible with the CBD, should promote the pedestrian-oriented main street environment of Scranton Ave.
2. Where Block Two abuts North Ave, residential uses with appropriate setbacks should be in character with and scaled to the surrounding neighborhoods.
3. Block Three should be treated as a residential transition between the CBD to the west and scaled to the surrounding neighborhoods.
4. Blocks Two and Three should make use of internal alleyways for service and loading with vehicular access from Oak Ave and/or Walnut Ave.
5. Off street parking storage should be provided within building structures and behind building developments so as to be screened from public view.
6. On-street parking storage should include parallel parking along Scranton Ave. Diagonal parking may be considered along Walnut Ave and Oak Ave.
7. There should be continuity of CBD streetscape treatments along Scranton Ave and southern portions of Walnut and Oak Avenues, including wide sidewalks, traditional light poles, in ground tree planters, and site furnishings as appropriate.
8. Streetscape treatments along North Ave streetscape should be treated as an extension of the neighborhood street, including continuous sidewalks, parkways, and canopy tree plantings.
9. Mature stands of trees and open spaces should be preserved.
10. Public gathering spaces are encouraged as are pedestrian ways that provide linkages between the development entrances, parking areas and surrounding CBD destinations.

The Design Guidelines is organized into two parts:

Part One: Architectural Design Guidelines

– describe preferred building treatments organized by building typology.

Part Two: Site and Streetscape Design Guidelines

– describe preferred treatments organized by site and streetscape function.

PART ONE: ARCHITECTURAL DESIGN GUIDELINES

**BUILDING
TYPOLOGY 1:** Mixed-Use Buildings

**BUILDING
TYPOLOGY 2:** Multi-Family Residential
Buildings

**BUILDING
TYPOLOGY 3:** Attached Single-Family
Rowhomes

**BUILDING
TYPOLOGY 4:** Detached Single-Family
Homes



TYPOLOGY 1 - Mixed-Use Buildings

10



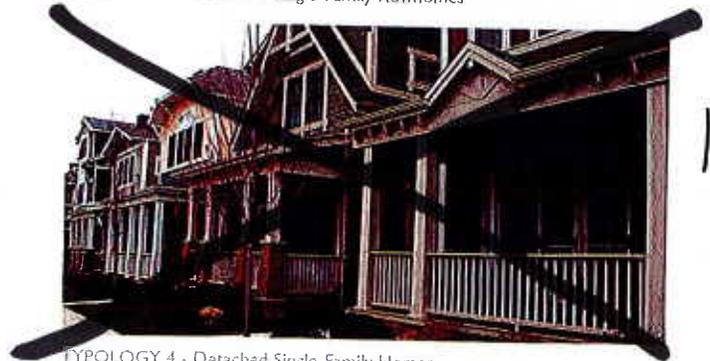
TYPOLOGY 2 - Multi-Family Residential Buildings

11



TYPOLOGY 3 - Attached Single-Family Rowhomes

12



TYPOLOGY 4 - Detached Single-Family Homes

13

BUILDING TREATMENTS

Community Preference Snapshot

When reviewing mixed-use building types, preferences were expressed for buildings oriented towards the public street and along the sidewalk edge with high quality traditional architecture; and parking located at the building rear with screening and ornamental landscaping. A strong preference was expressed against architecture with relatively flat articulation and parking located in front or at the sides of buildings.

Building Orientation

- Buildings should be positioned at the sidewalk and form a "street wall" with an allowance for articulation.
- Building entrance should face street.
- Parking areas are encouraged behind buildings and/or underground. Pedestrian accessways should be provided to connect parking areas with building entrances. Any breaks in the street wall should be used for open space, plazas, public art or pedestrian ways.
- Shared parking facilities are encouraged.
- Buildings located on corner lots should integrate design features that create focal points at intersections such as iconic building characteristics. Such features should be sensitively incorporated into the CBD.

Building Proportion & Scale

- Maximum building height should be three (3) stories including roof.
- Buildings taller than 2-1/2 stories are discouraged along North Ave.
- One (1) story buildings are discouraged.
- Match or transition building proportions between existing adjacent buildings.
- Buildings should use traditional vocabularies to express clear definitions between the building base, middle and top via architectural articulation, including, but not limited to: variations in building materials, articulation of building coping and cornice, and variation in roof lines.



Buildings should be positioned at the sidewalk and form a "street wall" with an allowance for articulation

14



Building orientation with parking in the rear and pedestrian access between Stanton Avenue and parking area

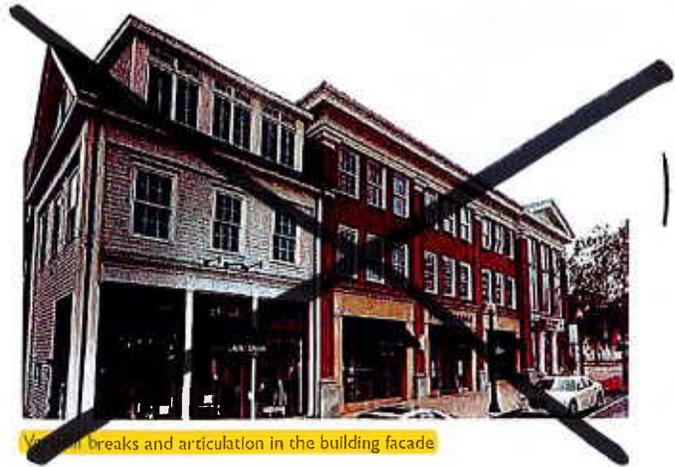
15



Other building features create focal points at intersections

16

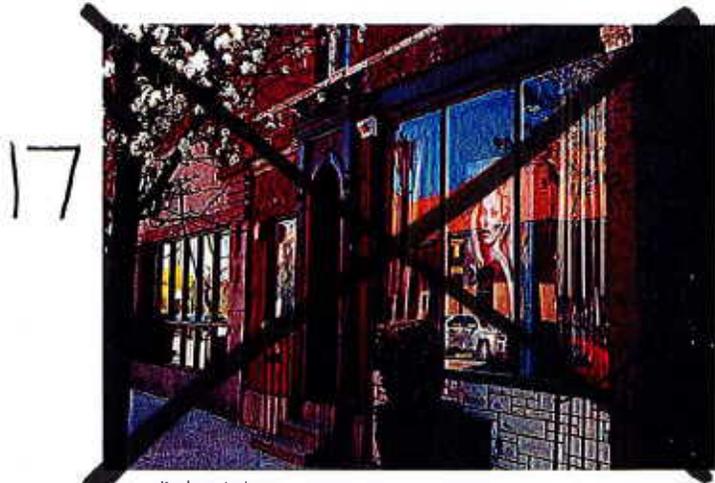
- Exterior walls should be treated with vertical breaks in the building façade so as to create interest and shadow, thereby minimizing potential monotony of expansive facades.
- Rooflines should incorporate variations in form, including but not limited to, articulated eaves, mansard, hipped and gable ends.
- Upper floor setbacks are encouraged to create architectural articulation and interest, thereby minimizing potential monotony of expansive facades.
- Building corners, edges and entrances should be articulated to reduce visual monotony.
- Strategically located breaks in the building mass are encouraged to provide public plaza space and access between rear loaded parking and the street frontage.



Vertical breaks and articulation in the building facade



Parking located at the building rears with pedestrian accessways



Large display windows



Awnings and canopies are encouraged along the public walkway

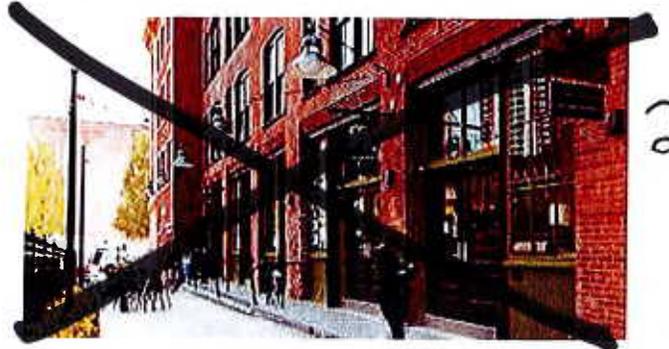
Facade Treatments & Materials

- All exposed faces of buildings shall be treated with quality architectural finishes.
- At a minimum, the primary building material should be durable materials, such as limestone and brick. Additional non-traditional cladding materials, such as metals, or concrete, and cultured stone panels may be appropriate within limited applications.
- Building entrances should be prominent and accessible from the public street.
- Ground floor windows should be large display windows of storefront proportions.
- Awnings and canopies are encouraged along the public walkway. Awning / canopy materials should be fabric.

- Windows should use traditional proportions and vocabulary.
- Windows should incorporate multiple divisions in the glass, such as mullions.
- Building cornices, friezes, lintels, sills and surrounds should be clearly expressed with limestone or metal materials.
- Upper story balconies should be recessed into the building rather than hung off exterior walls.
- Quality materials should be consistent throughout.
- All side or rear facades in or adjacent to the central business district should be treated as major elevations with quality architectural finishes, including but not limited to, trelliage, planters, appropriate lighting and signage and have variations that provide interest.

Roofing Treatments & Materials

- Roof variations that provide interest and break-up the scale of the building are encouraged.
- Upper story cornices and friezes should be clearly expressed with limestone or metal materials.
- All rooftop equipment including, but not limited to, satellite and other telecommunication equipment, air handling units, elevator equipment, cooling towers and exhaust fans are to be screened from view. Equipment screens should be treated as part of the architectural design with similar detailing and materials as the building architecture.



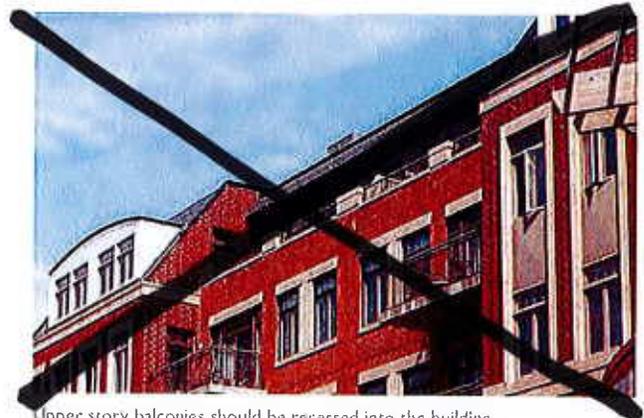
21

Rear entrances to commercial properties should be treated with quality architectural finishes such as lighting and signage



22

Majority of roof system should include parapet and/or mansard roofs



23

Upper story balconies should be recessed into the building



24

Upper story cornices and friezes should be clearly expressed with limestone or metal materials

BUILDING TREATMENTS

Community Preference Snapshot

When reviewing multi-family building types, preferences were expressed for buildings oriented towards the public street and setback behind a modest greenlet; high quality traditional architecture; visual breaks in building mass; clearly defined front entrances; definition of vertical and horizontal facade features; and parking located at the building rear. A strong preference was expressed against buildings located against the sidewalk edge; architecture with relatively flat articulation and parking located in front or at the sides of buildings.

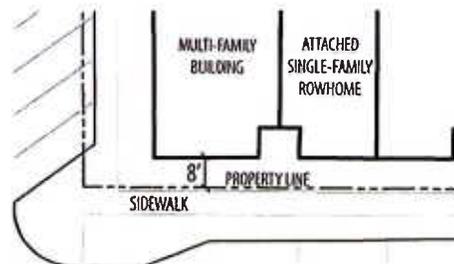
Building Orientation

- Residential buildings should be set back from the lot line. Landscape should be provided between residences and the public right of way.
 - Residential buildings fronting a commercial street should be setback min. eight (8') feet from lot line.
 - Residential buildings fronting a residential street should be setback min. fifteen (15') feet from lot line.
- Parking areas are discouraged between buildings and public streets.
- Parking areas are encouraged behind buildings, shared parking lots, and/or underground.
- Shared parking is encouraged.

Building Proportion & Scale

- Maximum building height should be three (3) stories.
- Buildings taller than 2-1/2 stories are discouraged along North Ave.
- Match or transition building proportions between existing adjacent buildings.
- Buildings should express clear definitions between the building base, middle and top via architectural articulation, including, but not limited to: variations in building materials, articulation of building coping and cornice, and variation in roof lines.

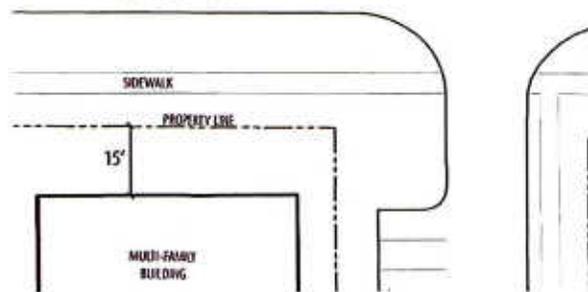
- Exterior walls should be treated with vertical breaks in the building facade so as to create interest and shadow, thereby minimizing potential monotony of expansive facades.
- Rooflines should incorporate variations in form, including but not limited to, articulated eaves, mansard, hipped and gable ends.
- Upper floor setbacks are encouraged to create architectural articulation and interest, thereby minimizing potential monotony of expansive facades.
- Building corners, edges and entrances should be articulated to reduce visual monotony.
- Internal courtyards are encouraged to provide green space and minimize long expansive facades.
- Strategically located breaks in the building mass are encouraged to provide public plaza space and access between rear loaded parking and the street frontage.



Scranton Avenue

Residential buildings fronting a commercial street should be setback min. eight (8') feet from lot line.

North Avenue



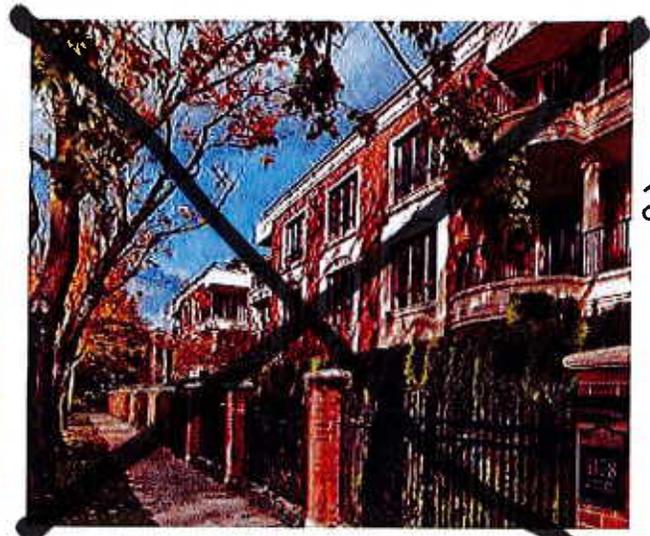
Residential buildings fronting a residential street should be setback min. fifteen (15') feet from lot line.

25



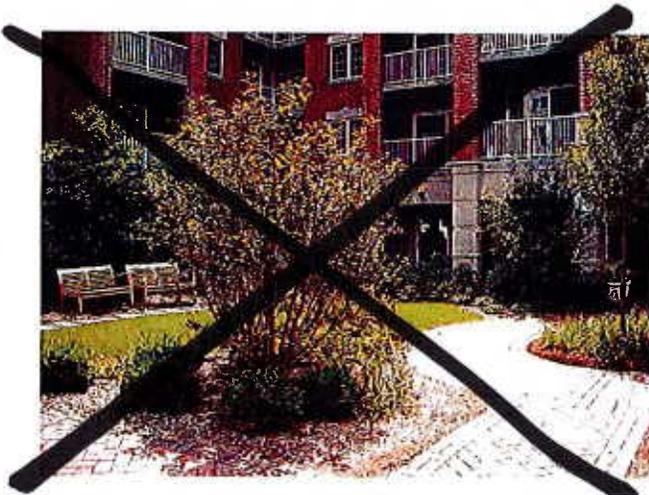
Exterior walls should be treated with vertical breaks in the building facade, articulation of building coping and cornice, and variation in roof lines.

27



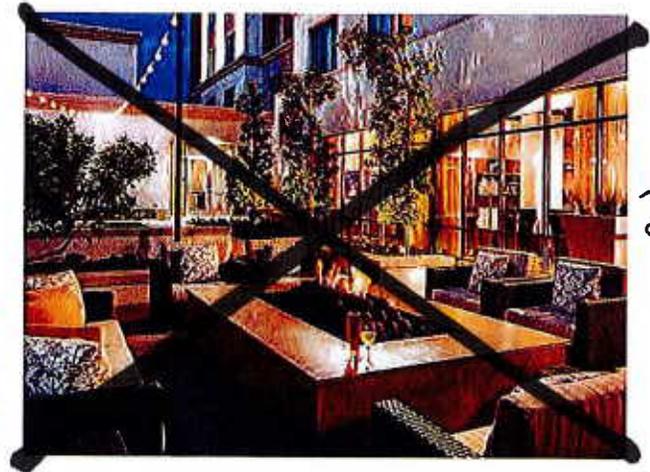
Residential buildings should be set back from the lot line. Landscape should be provided between residences and the public street.

26



Internal courtyards are encouraged to provide green space and minimize long expansive facades and can include amenities such as seating areas, walkways, landscaping, water features, bike racks and fire pits.

28



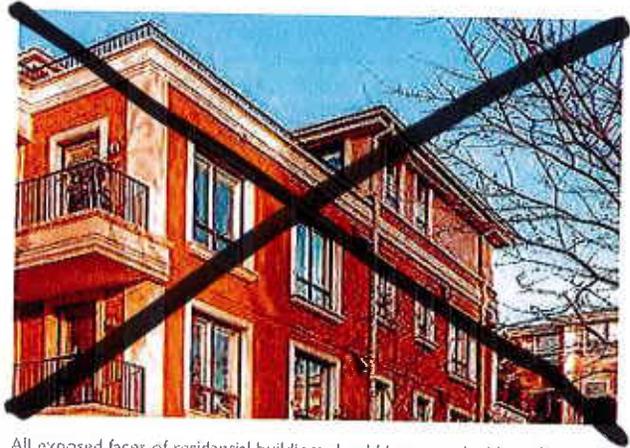
Facade Treatments & Materials

- All exposed faces of residential buildings shall be treated with quality architectural finishes.
- At a minimum, the primary building material should be masonry materials, such as limestone and brick.
- Materials other than those listed above may be used for architectural trim and accent applications including, but not limited to, string courses and other accents.
- Building entrances should be prominent and accessible from the public street.
- Upper story window proportions should be 'punched windows' or smaller than the proportions of the facade and recessed into the exterior wall.
- Windows should have a repetitive rhythm which relates to the overall exterior masonry wall.
- Windows should incorporate multiple divisions in the glass, such as mullions.
- Building cornices, friezes, lintels, sills and surrounds should be clearly expressed with high quality materials such as masonry. EIFS is discouraged.
- Upper story balconies are encouraged as appropriate to the building program. Balcony design shall be compatible with the overall architectural rhythm and scale of the building.
- Balcony railings should be constructed of wood composite or metal materials.
- Trash and utility enclosures and screens should match building with respect to materials.
- Where underground structured parking is planned within a building development, the following facade treatments are recommended:
 - ◻ Garage door articulation should be compatible with the architecture of the primary building.
 - ◻ Entrance to garage should be located off-street or in the alley where appropriate.
- Any garage or accessory building shall reference the architecture of the principal building.



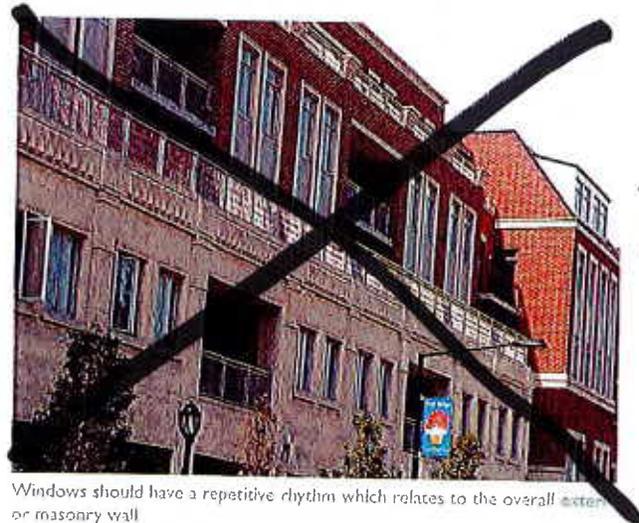
29

Window mullions express multiple divisions in the glass



30

All exposed faces of residential buildings should be treated with quality architectural finishes including brick and limestone



31

Windows should have a repetitive rhythm which relates to the overall exterior or masonry wall

Roofing Treatments & Materials

- Rooflines should incorporate variations in form, including but not limited to, parapet, mansard, hipped and gable ends.
- Roof variations that provide interest and break-up the scale of the building are encouraged.
- Upper story cornices and friezes should be clearly expressed with limestone or metal materials.
- All rooftop equipment including, but not limited to, satellite and other telecommunication equipment, air handling units, elevator equipment, cooling towers and exhaust fans are to be screened from view. Equipment screens should be treated as part of the architectural design with similar detailing and materials as the building architecture.



33

Example of a gable roof



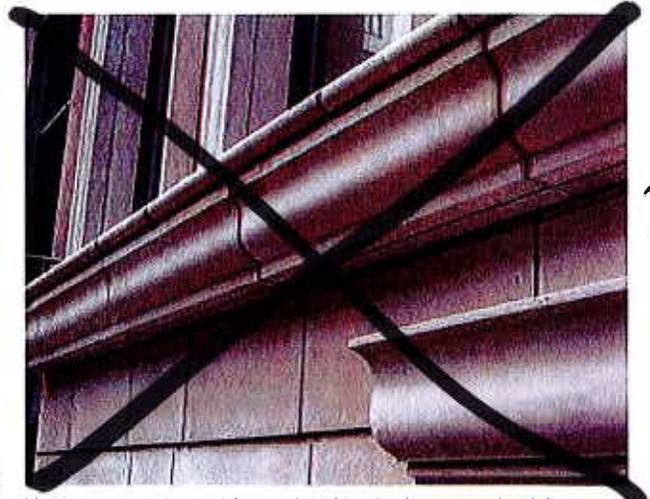
34

Variations in roof form are encouraged



32

Building entrances should be prominent and accessible from the public street and recessed into the facade a minimum of 5'-0"



35

Upper story cornices and friezes should be clearly expressed with limestone or metal materials

BUILDING TREATMENTS

Community Preference Snapshot

When reviewing single-family rowhome types, preferences were expressed for buildings oriented towards the public street and setback behind a modest greenlet; high quality traditional architecture; visual breaks in building mass; clearly defined front entry porches; definition of vertical and horizontal facade features; and parking located at the rear of buildings. A strong preference was expressed against buildings located against the sidewalk edge; architecture with relatively flat articulation; and parking located in front or at the sides of buildings.

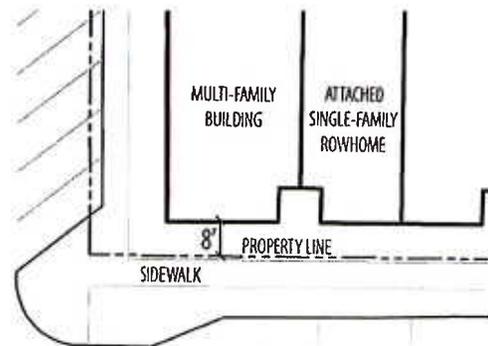
Building Orientation

- Residential buildings should be set back from the lot line. Landscape should be provided between residences and the public street.
- Residential buildings fronting a commercial street should be setback min. eight (8') feet from lot line.
- Parking areas are encouraged behind buildings in alleyway.
- Front entry porches oriented towards the street are encouraged to maintain a street-friendly pedestrian scale.

Building Proportion & Scale

- Maximum building height should be three (3) stories.
- Buildings taller than 2-1/2 stories are discouraged along North Ave.
- Match or transition building proportions between existing adjacent buildings.
- Buildings should express clear definitions between the building base, middle and top via architectural articulation, including but not limited to: variations in building materials, articulation of building coping and cornice, and variation in roof lines.
- No more than eight (8) units should be attached without a break in the building to maintain a street-friendly pedestrian scale and as per best design practices.

- Rooflines should incorporate variations in form, including but not limited to: articulated eaves, mansard, hipped and gable ends.
- Upper floor setbacks are encouraged to create architectural articulation and interest, thereby minimizing potential monotony of expansive facades.
- Building corners, edges and entrances should be articulated to reduce visual monotony.



Scranton Avenue

Residential buildings fronting a commercial street should be setback min. eight (8') feet from lot line.

Facade Treatments & Materials

- All exposed faces of residential buildings shall be treated with quality architectural finishes.
- At a minimum, the primary building material should be masonry materials, such as limestone and brick. Materials other than those listed above may be used for architectural trim and accent applications including but not limited to: string courses and other accents.
- Upper story window proportions should be 'punched windows' or smaller than the proportions of the facade and recessed into the exterior wall.
- Windows should have a repetitive rhythm which relates to the overall exterior masonry wall.
- Windows should incorporate multiple divisions in the glass, such as mullions.
- Building cornices, friezes, lintels, sills and surrounds should be clearly expressed with limestone or metal materials.
- Balcony railings should be constructed of wood composite or metal materials.
- Upper floor facade enhancements that are consistent with the overall building style are encouraged. These materials should be constructed of wood composite materials.

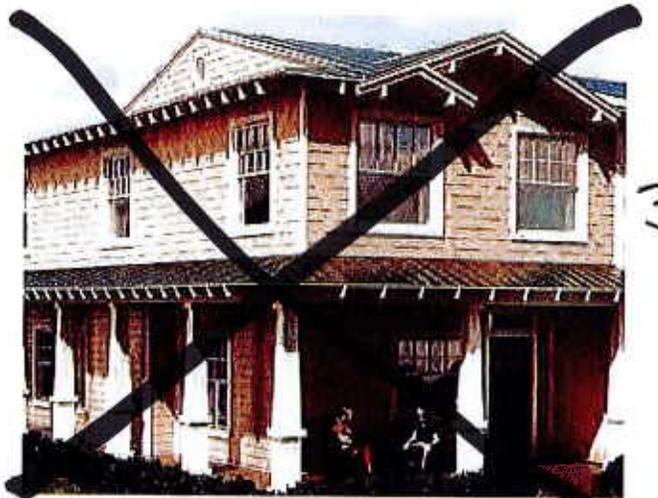
Roofing Treatments & Materials

- Roof variations that provide interest and break-up the scale of the building, such as dormers, are encouraged.
- Architectural details appropriate to the principal building style are encouraged.



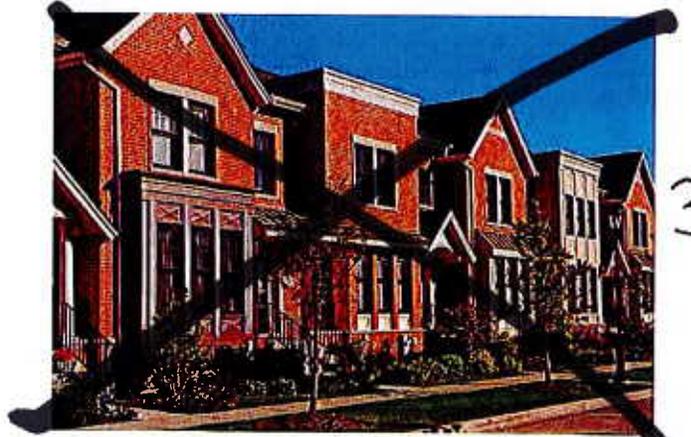
36

Landscape should be provided between residences and the public street



37

Upper floor facade enhancements such as exposed rafter tails and brackets may be considered as appropriate to the overall building style



38

Variations in building materials, articulation of building coping and cornice, and variation in roof lines are encouraged

BUILDING TREATMENTS

Community Preference Snapshot

When reviewing single-family home types, preferences were expressed for detached single-family buildings oriented towards the public street and setback behind a modest greenlet; high quality traditional architecture; visual breaks in building mass; clearly defined front entry porches; definition of vertical and horizontal facade features; and parking located at the rears of buildings. A strong preference was expressed against buildings located against the sidewalk edge; architecture with relatively flat articulation; and parking located in front or at the sides of buildings. A diversity of architectural styles is encouraged towards expressing an established and mature appearance consistent with the CBD.

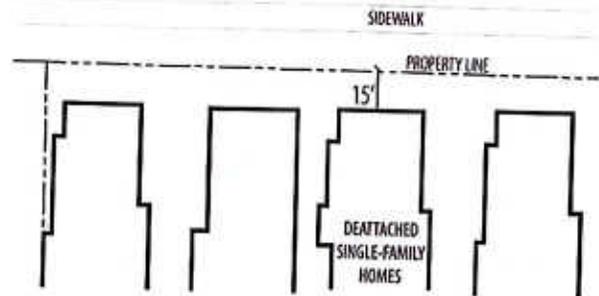
Building Orientation

- Residential buildings should be set back from the lot line.
 - Landscape should be provided between residences and the public street.
 - Residential buildings fronting a residential street should be setback min. fifteen (15') feet from lot line.
- Parking areas are encouraged behind buildings in alleyway.
- Front entry porches oriented towards the street are encouraged to maintain a street-friendly pedestrian scale.

Building Proportion & Scale

- Maximum building height should be two-and-a-half (2.5) stories.
- Match or transition building proportions between existing adjacent buildings.
- A diversity of architectural styles is encouraged, including, but not limited to: variations in building materials, articulation of building coping and cornice, and variation in roof lines.
- Rooflines should incorporate variations in form, including but not limited to, articulated eaves, mansard, hipped and gable ends.

North Avenue

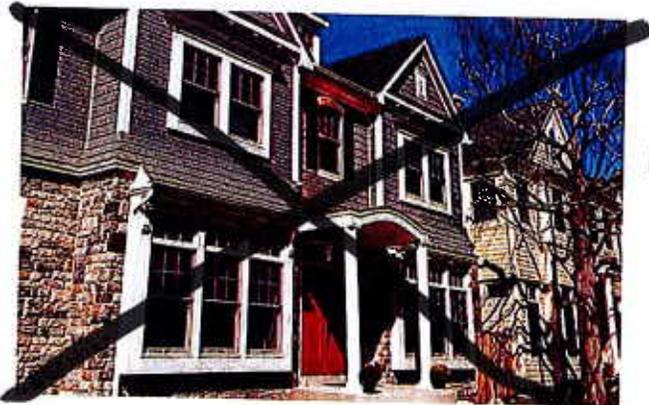


Residential buildings fronting North Avenue should be setback min. fifteen (15') feet from lot line.



Front entry porches are encouraged to maintain a street-friendly pedestrian scale

39



Variations in building materials and articulation in facade and roof are encouraged

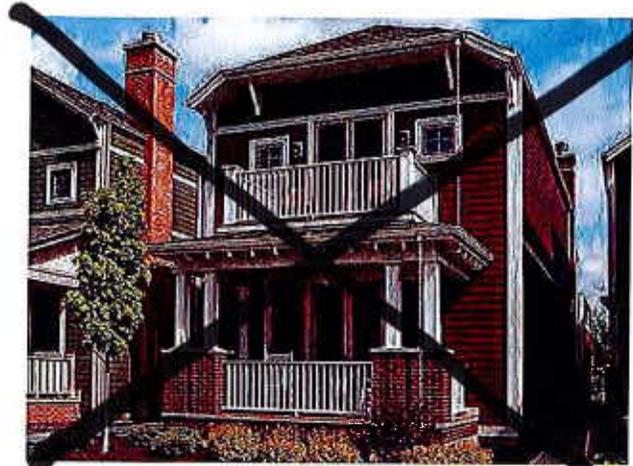
40

Facade Treatments & Materials

- All exposed faces of residential buildings shall be treated with quality architectural finishes.
- Front porches are encouraged.
- Masonry materials, such as stone or brick, are preferred for the first floor porch bases. Siding materials such as fiber cement siding, paneling, or other durable materials are encouraged.
- Windows should have a repetitive rhythm which relates to the overall exterior wall.
- Windows should incorporate multiple divisions in the glass, such as mullions.
- Upper floor facade enhancements such as exposed rafter tails, brackets and treillage are encouraged. These materials should be constructed of wood composite materials.

Roof Treatments & Materials

- A variety of hipped or gabled roofs are encouraged.
- Roof variations that provide interest and break-up the scale of the building, such as dormers, are encouraged.
- Upper story cornices and friezes should be clearly expressed with wood composite materials.



42

At a minimum, masonry materials, such as limestone and brick, should be incorporated at the first floor along the building entry porch base



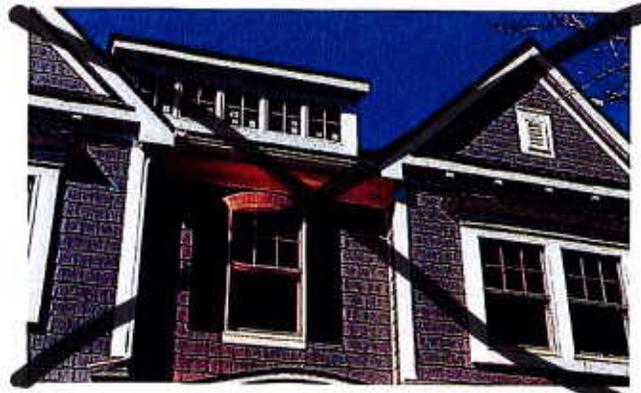
43

A variety of hipped or gabled roofs are encouraged



41

Upper floor facade enhancements such as exposed rafter tails and brackets are encouraged



44

Roof variations that provide interest and break-up the scale of the building, such as dormers, are encouraged

PART TWO: SITE AND STREETSCAPE DESIGN GUIDELINES

SITE AND STREETSCAPE: Parking & Landscaping
Plazas & Accessways
Signage & Lighting
Streetscape

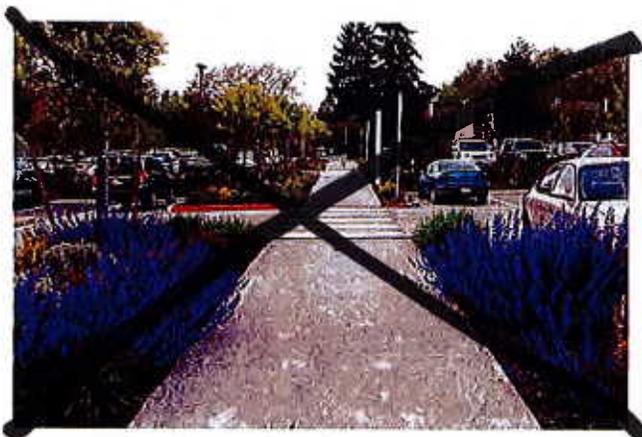
SITE ENHANCEMENTS

Community Preference Snapshot

During the community visioning activities, a strong preference was expressed to maintain the high quality and pedestrian-friendly scale of the downtown, including outdoor plazas, pedestrian oriented alleyways and public gathering spaces. As described in the architectural design guidelines above, building and site design should reserve strategically located open spaces for these uses. The following site and streetscape design guidelines describe treatments of these public and semi-public spaces which are critical to maintaining a street-friendly scale in the CBD.

Parking & Landscaping

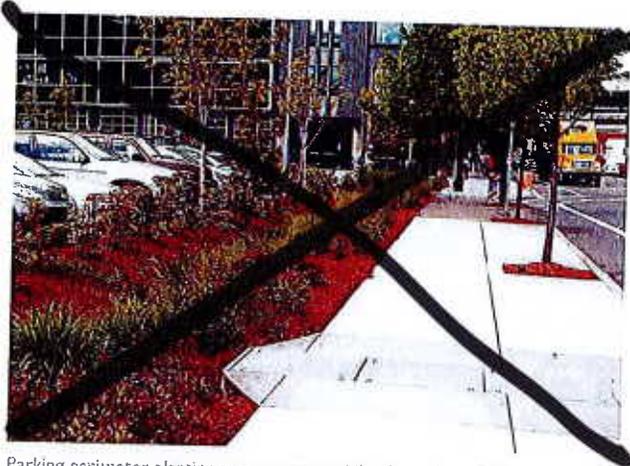
- Required parking should be provided within each development site.
- When feasible, separate vehicular and pedestrian circulation systems should be provided. Pedestrian linkages should be emphasized between parking areas and building entrances.
- Parking areas which accommodate a significant number of vehicles should be divided into a series of connecting smaller lots separated by open space medians, islands and pedestrian walkways.



Landscaped pedestrian access from parking areas to building entrances

- Landscaping should be protected from vehicular and pedestrian encroachment by raised planting surfaces, depressed walks or the use of curbs.
- Perimeter landscape setbacks shall be provided as follows:
 - Landscaping should define entrances to parking lots and buildings. Landscaping should also direct pedestrians to pathways and walkways.
 - Where parking areas abut public streets a 6'-0" wide minimum perimeter planting area should be provided. These planting areas should be treated with a mixture of canopy trees, shrubs and groundcover. Maximum shrub and groundcover height shall be 3'-0" in ht. Canopy trees shall be selected and installed such that the first lateral branches are not less than 7'-0" in ht.
 - Where parking areas abut residential properties a 6'-0" minimum wide screening perimeter planting area should be provided. These areas should be treated with 6'-0" ht. opaque masonry or wood fences and shrubs.
- Interior landscape planting islands should be provided throughout parking areas as follows:
 - Not more than 15 contiguous parking spaces shall be provided without an interior planting island. Interior planting islands shall be at least 9'-0" wide and support a mixture of canopy trees and groundcover plantings.
 - All plant materials shall be selected for their durability and tolerance to deicing salt and urban conditions.
- Rear yard parking, loading and service areas shall be screened. Minimum width for screening shall be 6'-0" and should comprise of privacy fencing and landscape plantings.
- Trash enclosures shall be masonry, wood or metal. Perimeter landscaping is recommended around trash enclosures as appropriate.

46



Parking perimeter planting screens automobiles from the public street

49

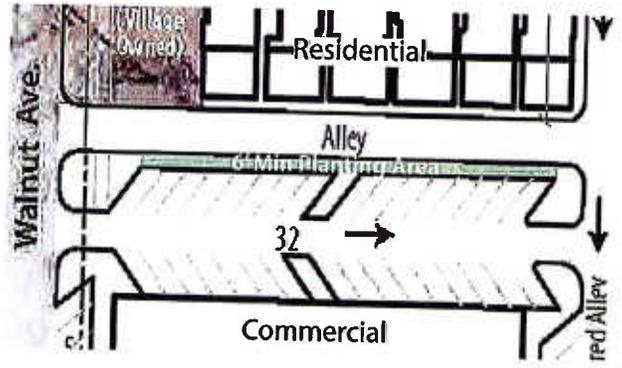


Parking perimeter planting screens automobiles from adjacent properties

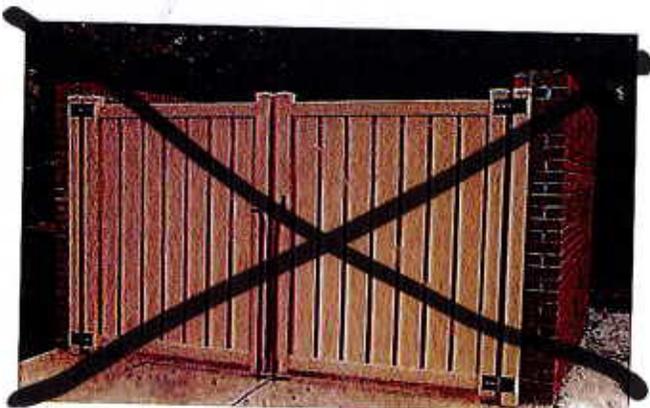
47



Where parking areas abut residential properties, a 6'-0" minimum wide screening perimeter planting area should be provided



48



Masonry trash enclosure

Plazas & Pedestrian Accessways

- Properly scaled outdoor dining and plaza spaces may be created along the street frontage.
- Outdoor plazas should be visually and functionally accessible from the public street.
- Plazas should incorporate landscaping and lighting to provide a safe and attractive outdoor gathering space.
- Pedestrian accessways should be incorporated to provide access between parking areas and building entrances. Pedestrian accessways may be coordinated with plaza locations to maximize a pedestrian active zone.
- Pedestrian accessways should incorporate wayfinding signage, lighting and landscaping to provide a safe and attractive walkway between parking and building entrances.

Signage & Lighting

- Recommended building signage shall be mounted parallel or perpendicular to the building facade.
- Per Village zoning codes, protruding signage shall not extend beyond the building facade more than 4'. Best design practices for clearances should be met.
- Maximum lettering height shall be 14".
- Pole mounted signage is prohibited.
- Lighting mounted to the building facade, should be consistent in lumens to that of the traditional lamping that creates the character of the historic district. Uplighting of buildings or trees is generally not appropriate. Temporary decorative lighting, such as festoon lighting, is encouraged to promote pedestrian-friendly night-time uses.
- Internally lit signage is not permitted.

50



Maximum lettering height shall be 14"

Perpendicular signage example



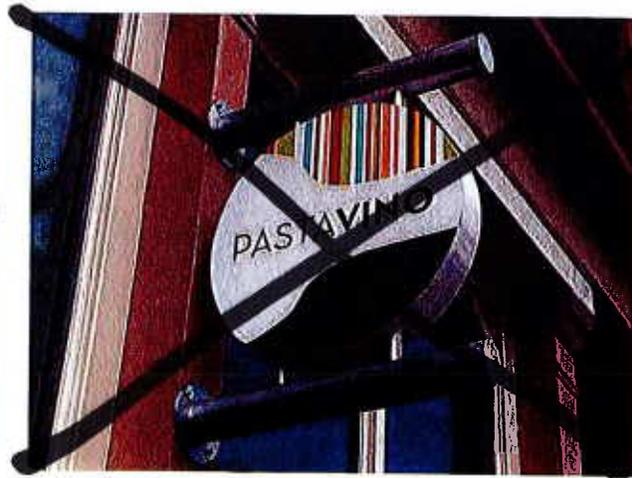
51

Outdoor plazas should be visually and functionally accessible from the public street



52

Pedestrian accessways may be coordinated with plaza locations to maximize a pedestrian active zone



53

Examples of perpendicular signage

Streetscape

- Sidewalk paving materials and patterns should be clear and open to maintain visibility, access and outdoor seating as appropriate to adjacent uses as well as compatible with the existing broom finished concrete with modest brick paving accents along the back of curb.
- Landscape plantings should be selected for durability to deicing salts and urban environments.
- Landscape plantings should maintain clear visibility between 3' ht and 7' ht as measured above sidewalk grade.

Downtown Streetscape (Scranton Ave)

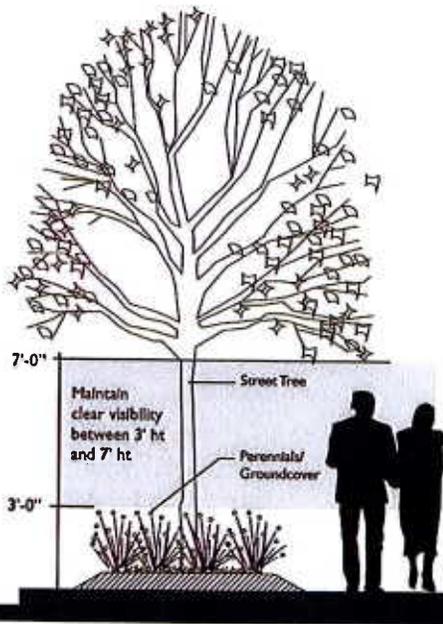
- Sidewalk paving should be primarily broom finished concrete with modest brick paving accents along the back of curb.
- Sidewalk planters should be defined with 6" ht. rolled concrete curbs and landscaped with a mixture of canopy shade trees, flowering perennials and groundcover.
- Tree plantings should be oriented to maintain visibility of building signage.
- Site furnishings should reflect traditional styling and pedestrian comfort, such as seat height planter walls and wood benches.



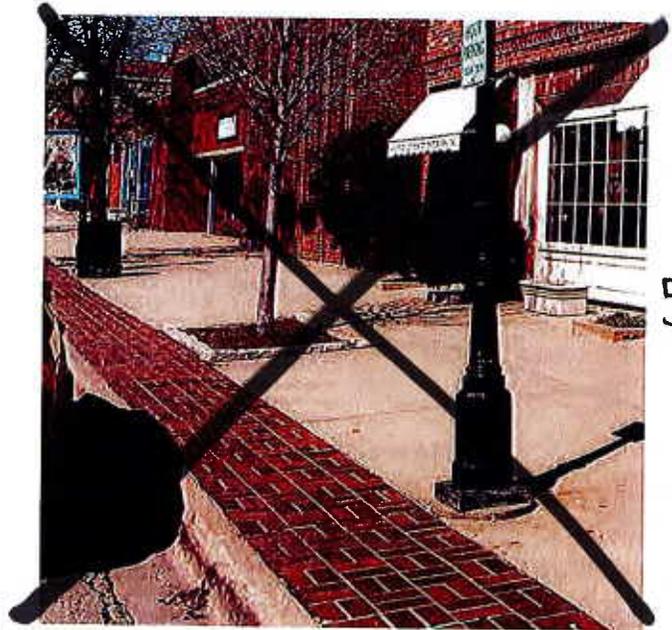
Example of a rolled concrete curb sidewalk planter



Site furnishings should reflect traditional styling and pedestrian comfort, such as wood benches



Landscape plantings should maintain clear visibility between 3' ht and 7' ht as measured above sidewalk grade



Sidewalk paving should be primarily broom finished concrete with modest brick paving accents along the back of curb

- Bicycle uses are encouraged in the CBD and should be supported via strategically located fixed bike racks and repair stations.
- Outdoor dining plazas should include high quality outdoor furnishings and maintain clear and open views and access. A defined edge between dining plazas and the street is encouraged via planters and/or metal railings.
- Pedestrian accessways and alleys should be defined with traditional streetscape materials, such as ornamental metal railings and archways and/or landscape planters. Decorative lighting, such as festoon lighting, is encouraged to promote pedestrian-friendly night time uses.

Residential Neighborhood Streetscape (North Ave)

- Sidewalks, parkways and street trees should be contiguous.



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Example of a bike repair station

57



Contiguous sidewalks, parkways and street trees in residential neighborhood streetscape



59

Example of fixed bike racks

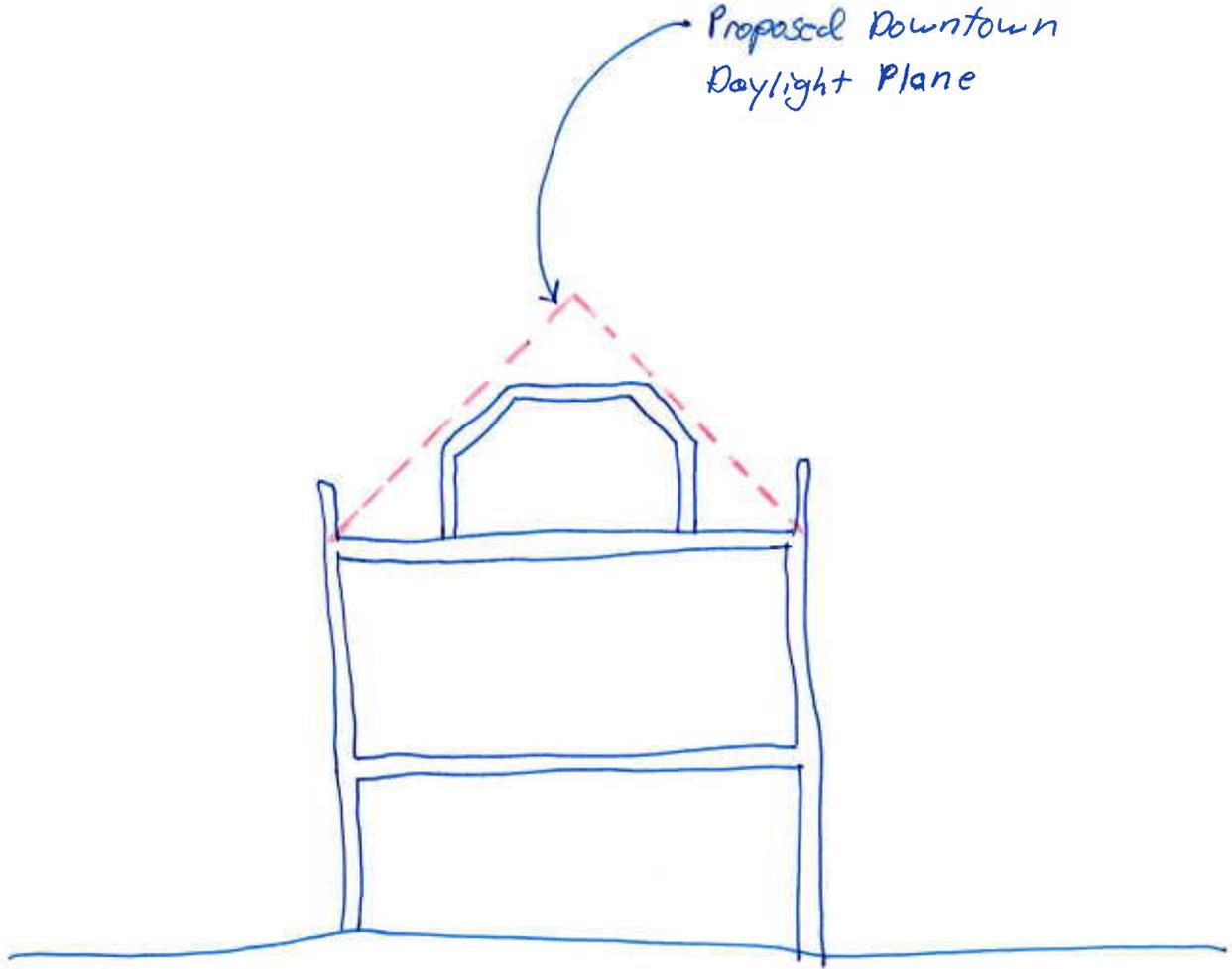


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Outdoor dining incorporates clear and open views and access along the public sidewalk

APPENDIX: VISUAL PREFERENCE
SURVEY RESULTS

Proposed Downtown
Daylight Plane



10-5-5: DAYLIGHT PLANE HEIGHT RESTRICTIONS:

- A. Applicability: In addition to the general height restrictions set forth in section 10-5-4 of this chapter, all buildings on any lot in any residential district shall be subject to, and comply with, the daylight plane height restrictions set forth and established in this section.
- B. Daylight Plane: Except as provided in subsection C of this section, no portion of a building on any lot in any residential district shall intercept either of the planes that begin at points twelve feet (12') directly above the interior side lot lines and run at forty five degree (45°) angles toward the interior of any such lot until they reach the maximum height permitted on the lot as established pursuant to subsection 10-5-4A of this chapter. Measurement of the twelve foot (12') vertical portion of the daylight plane shall commence at the average preconstruction grade level that exists along the portion of the side yard property line adjacent to the primary side wall of the proposed structure. If a wall or other abrupt change in grade exists along the side yard property line, the preconstruction grade for calculation of the daylight plane shall be the lowest of the grades existing on either side of the existing abrupt change. The height of the sidewall of the structure shall comply with the daylight plane at all locations down the length of the side yard. Grades shall not be averaged for determining daylight plane calculations. For purposes of this section, such areas shall be known as the "daylight plane". See section 10-13-1 of this title, illustrations 8 and 9.
- C. Permitted Encroachments: The following structures and architectural features shall be permitted to extend into and through the daylight plane, but only to the following extent:
1. Roof overhangs and storm gutters may extend into and through the daylight plane a maximum of two feet (2'). See section 10-13-1 of this title, illustration 9.
 2. Dormers, gable roof ends, hip roof ends, shed roof ends, and the upper segment of gambrel roof ends, or a combination thereof, may extend into and through the daylight plane; provided, however, that no such extension or extensions shall be permitted if the dormers, gable roof ends, hip roof ends, shed roof ends, or the upper segment of gambrel roof ends, or a combination thereof, is more than twenty feet (20') in total length at the point of intersection with the daylight plane. No individual dormer width may exceed eight feet (8') as measured from the exterior framing dimensions of the vertical edges of the dormers. The minimum clear spacing between dormers shall be six feet (6'). See section 10-13-1 of this title, illustrations 10 and 11 and 11A.
 3. Chimneys and other similar architectural features and appurtenances, as described in subsection 10-4-1A of this title, may extend into and through the daylight plane. (Ord. 94-2, 2-25-1994; amd. Ord. 98-6, 2-23-1998; Ord. 2000-11, 7-11-2000)

10-4-1: EXCEPTIONS TO HEIGHT, YARD AND SETBACK REQUIREMENTS:

- A. Height Exceptions: The height regulations contained in this title shall be subject to the following exceptions and special regulations: chimneys (provided, that the chimney does not have elaborate architectural features that result in finished cross sectional areas of 32 square feet or greater), cooling towers, elevator bulkheads, fire towers, monuments, stacks, stage towers, scenery lifts, tanks, water towers, ornamental towers and spires, wireless towers, or necessary mechanical appurtenances may be erected to a height in accordance with the existing or hereafter adopted ordinances of the village.