

**VILLAGE OF LAKE BLUFF
ARCHITECTURAL BOARD OF REVIEW**

TUESDAY, MAY 3, 2016 – 7:00 P.M.

**VILLAGE HALL BOARD ROOM
40 E. CENTER AVENUE, LAKE BLUFF, ILLINOIS**

AGENDA

- 1. Call to Order and Roll Call**
- 2. Consideration of the April 5, 2016 Architectural Board of Review Meeting Minutes**
- 3. Non-Agenda Items and Visitors (Public Comment Time)**
The Architectural Board of Review Chair and Board Members allocate fifteen (15) minutes during this item for those individuals who would like the opportunity to address the Board on any matter not listed on the agenda. Each person addressing the Architectural Board of Review is asked to limit their comments to a maximum of three (3) minutes.
- 4. Consideration of a Sign Permit and Awning for the Marvin Design Gallery at 930 North Shore Drive**
- 5. Consideration of a Sign Permit for United Services at 46 Sherwood Terrace**
- 6. A Discussion of Proposed Design Guidelines for Central Business District Block Two and Three**
- 7. Staff Report**
 - **Next Regular Meeting – June 7, 2016 (1st Tuesday)**
- 8. Adjournment**

The Village of Lake Bluff is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact R. Drew Irvin at 234-0774 or TDD number 234-2153 promptly to allow the Village of Lake Bluff to make reasonable accommodations.

**VILLAGE OF LAKE BLUFF
ARCHITECTURAL BOARD OF REVIEW
REGULAR MEETING
APRIL 5, 2016**

DRAFT MINUTES

1. Call to Order and Roll Call

The meeting of the Architectural Board of Review (ABR) of the Village of Lake Bluff was called to order on April 5, 2016 at 7:00 p.m. in the Village Hall Board Room (40 E. Center Avenue) and the following were present.

Present: Edward Deegan
Matthew Kerouac
Stephen Rappin
Carol Russ
Bob Hunter, Chair

Absent: Neil Dahlmann, Member
John Sorenson, Member

Also Present: Mike Croak, Building Codes Supervisor (BCS)

2. Consideration of the January 20 and February 9, 2016 ABR/Joint Plan Commission and Zoning Board of Appeals (PCZBA) Workshop Minutes and March 1, 2016 ABR Regular Meeting Minutes

Member Kerouac moved to approve the minutes of the January 20, 2016 ABR/PCZBA Workshop meeting as presented. Member Rappin seconded the motion. The motion passed on a unanimous voice vote.

Member Rappin moved to approve the minutes of the February 9, 2016 ABR/PCZBA Workshop meeting as presented. Member Kerouac seconded the motion. The motion passed on a unanimous voice vote.

Member Russ moved to approve the minutes of the March 1, 2016 ABR meeting as presented. Member Deegan seconded the motion. The motion passed on a unanimous voice vote.

3. Non-Agenda Items and Visitors (Public Comment Time)

Chair Hunter stated the ABR Chair and Board Members allocate fifteen minutes during this item for those individuals who would like the opportunity to address the Board on any matter not listed on the agenda.

There were no request to address the ABR.

4. A Public Hearing to Consider a Site Plan to Review a Tent and Patio for the Lake Bluff Golf Club at 355 West Washington Avenue

Chair Hunter opened the public hearing regarding the matter.

Lake Bluff Park District Executive Director Ron Salski stated temporary tents were used for scheduled outdoor events prior to the request for a special use permit (SUP) in 2009 for the installation of a tent south of the Golf Clubhouse. The SUP has since been amended to ensure the Park District remains good neighbors to the surrounding properties. This evening the Park District is seeking a site plan revision to have removable planters in the asphalt patio area and the installation of a smaller tent (40'x60") from May 1, 2016 through 2019.

Member Russ stated this is a great conceptual plan; however, the Park District should consider more permanent plans because the area still has a temporary appearance. She expressed her preference for additional landscaping and asked them to continue with plans to improve the quality and character of the area.

In response to a question from Member Rappin, Mr. Salski stated there will be no change to the asphalt area's existing footprint.

Member Rappin asked if the smaller tent would attract more business. Mr. Salski stated the goal is to get more outings but he does not anticipate any additional rentals. Also, Mr. Salski confirmed the planters and tables would remain in the asphalt area throughout the season.

Member Rappin stated the planters are a plus but it still appears to be a large concrete area and expressed his agreement with Member Russ to create a more inviting atmosphere for the area.

Member Kerouac expressed his concern with the location of the planters and asked if there was a path near the exit areas that can be used to prevent the grass from being worn out. Mr. Salski stated the planters are removable and can be relocated to adjust to foot traffic patterns.

In response to a question from Member Kerouac, Mr. Salski stated the intent is to install a wall tent which was approved in a previous SUP. Member Kerouac stated he appreciates the direction the Park District is headed and this is a good solution.

Member Deegan stated he has no comments and the proposal seems fine.

Chair Hunter expressed his agreement with the commissioners' comments. He asked if there was a way to have some permanent landscaping around the perimeter and noted the beauty of the removable planters is that they can be occasionally placed in the middle of the asphalt area.

Lastly, Mr. Salski advised that letters were mailed to the neighbors and two residents did come to the office to discuss the proposed changes.

Chair Hunter closed the public hearing.

Member Rappin moved to recommend the Village Board approve a site plan for a tent and patio for the Lake Bluff Park District as presented. Member Russ seconded the motion. The motion passed on the following roll call vote:

Ayes: Deegan, Kerouac, Russ, Rappin and Chair Hunter
Nays: None
Absent: Dahlmann and Sorenson

5. Consideration of a Sign Permit for the Lake Bluff Park District at 355 West Washington Avenue

Mr. Salski stated prior to 2014, the Park District had a sign at the northwest corner of Green Bay Road and West Washington Avenue, leading to the entrance to Blair Park. This sign was on private property and the Park District removed it at the request of the property owner. Since then, the School District has purchased the property and granted permission for the sign to be re-installed at the same location. The sign will provide directions to various facilities as well as promote upcoming events. The request to re-install the sign on a temporary basis allows the Park District and School District a chance to meet and discussed other options.

Member Deegan expressed his concerns with the appearance of the signage.

Member Kerouac stated the signage does not maintain the integrity of the Village or Park District and inquired of other options. Mr. Salski there have been discussion regarding signage similar to the Village's gateway signage; however, he is concern with investing in new signage because the property belongs to the School District.

Member Rappin stated it is important to identify where the Park District is located and he would not have any issues with the sign installed for a year, as long as there is a plan for the installation of a more comprehensive sign.

Member Russ expressed her agreement with the other commissioners and made some suggestions on how to reconfigure the proposed signage to improve its appearance. Mr. Salski stated he is open to having the two side panels removed.

Chair Hunter commented on past discussions with the Park District about the sign and stated as a temporary plan he like the idea of removing the two side panels and recommended a sandwich board be used for advertisement.

In response to a question from Member Kerouac, Mr. Salski stated the outside posts could be painted to match the Blair Park sign.

Following a brief discussion, Member Russ moved to approve a temporary entry sign at the northwest corner of Green Bay Road and W. Washington Avenue with the revisions as discussed: the side pieces removed, the posts dark green, and both signs to have green background with gold letters. Member Deegan seconded the motion. The motion passed on a unanimous voice vote.

6. Preliminary Discussion of a Conceptual Plan to Replace Playground Equipment at Blair Park and Artesian Park

Mr. Salski stated the Park District intends to replace the playground equipment at Artesian Park and Blair Park and the discussion tonight is to obtain feedback from the Village.

Superintendent of Facilitate Services Ed Heiser stated the Park District formed a Capital Plan Task Force to review current and future capital needs within the Park District and reviewed the

conceptual playground equipment designs for Artesian Park and Blair Park. A discussion regarding the conceptual plans followed.

Following the discussion the ABR Members provided feedback on impervious surface, existing trees and the height, colors and materials for the proposed equipment.

7. Consideration of a Sign Permit for CVS Pharmacy in Target at 975 Rockland Road

Chair Hunter stated Target has signed up nationwide with CVS as a provided of their pharmacies.

Mr. Tony Matalonis of Icon Identity Solutions addressed the ABR on behalf of CVS Pharmacy Corporation. Recently, CVS Pharmacy Corporation inquired the pharmacies within Target facilities across the United States. The subject site located at 975 Rockland Road is presently operating and branded as a Target facility. Mr. Matalonis stated the request is to remove the existing pharmacy sign on the east façade of the Lake Bluff Target store and replace it with a new CVS Pharmacy sign. The rebrand request is a slight change to the façade whereas the sign area is the same. He stated CVS Pharmacy during the acquisition phase of Target pharmacy operations modified the branding format and introduced a new heart logo which will be incorporated in all facilities nationwide.

Building Codes Supervisor Croak stated when the ABR and the Village Board considered the original sign permit package for the Target store, exemptions to the sign code were granted for the number of wall signs and the height of the wall signs above the ground. The new sign requires the same exemptions as the previous sign. Although Village Code typically requires sign code exemptions to go to the Village Board, in this case the Target Development Agreement gives the ABR the authority to grant final approval of any replacement signage.

Member Russ stated the proposed signage is similar to the existing signage and she is okay with the request.

Member Rappin had no issues or comments.

In response to a question from Member Kerouac, Mr. Matalonis described the proposed LED illuminated signage and installation process.

Member Deegan stated it looks fine and had no comments.

Member Kerouac moved to recommend approval of a wall sign for CVS Pharmacy at Target as presented. Member Russ seconded the motion. The motion passed on a unanimous voice vote.

8. A Public Hearing to Consider a Site Plan to Review the Proposed Single Family Homes at Stonebridge at 136 Green Bay Road

Chair Hunter stated tonight's public hearing is an informal review of the proposed architectural elevations and there will be no vote at tonight's meeting.

Chair Hunter opened the public hearing regarding the matter.

Mr. Peter Kyte of the Roanoke Group stated this is an informal presentation to obtain feedback to create a formal template for the three different series of homes. Mr. Kyte reviewed the changes to the proposed site plan which included revisions to the alley configuration and parking.

Mr. Robert Hidey of Robert Hidey Architects used the type “A”, Cottage style housing products, as an example for the presentation of the conceptual elevations, floor plans and design guidelines. A discussion regarding the conceptual plans followed.

Chair Hunter opened the floor for public comments.

Mr. Austin DePree stated he was asked by Mr. Kyte to review some of the firm’s California developments. The developments had a lot of depth, the trim and door thickness was real, there are deep shadow lines and the architecture feel very authentic and well thought out. Mr. DePree stated the comments about the porches and toning down the diversity are great and expressed his belief the development is going to be very unique and an asset to Lake Bluff.

Mr. Rick Lesser (Resident) asked if the name of the project has changed to 136 Green Bay Road.

Mr. Kyte stated he is unsure of the exact name for the project as they are still undergoing an extensive branding process.

Chair Hunter closed the public hearing.

Following the discussion it was the consensus of the ABR to continue the public hearing to a future date for further consideration of the proposed single family homes at Stonebridge.

9. A Discussion of Potential Streetscape Improvements to the Southeast Corner of Scranton Avenue and Center Avenue

Chair Hunter introduced the agenda item.

Member Deegan stated he recently attended a meeting with the Garden Club and Staff to discuss possible revisions to the streetscape. Mariani Landscape presented three conceptual designs based on the suggestions provided at the meeting and he reviewed the proposed streetscape designs and the concerns addressed.

A discussion followed regarding the replacement of the existing Central Business District flower bed located at the southeast corner of Scranton Avenue and Center Avenue, with features that would foster public gathering places while improving pedestrian circulation.

10. Staff Report

Chair Hunter reported the next regular meeting will be on May 3, 2016.

11. Adjournment

There being no further business to consider, Member Rappin moved to adjourn the meeting. Member Kerouac seconded the motion. The motion passed on a unanimous voice vote.

ABR Regular Meeting Minutes –
April 5, 2016

The meeting adjourned at 9:45 p.m.

Respectfully submitted,

Mike Croak, CBO, CBCO
Building Codes Supervisor

VILLAGE OF LAKE BLUFF

Memorandum

TO: Chairman Hunter and Members of the Architectural Board of Review

FROM: Mike Croak, Building Codes Supervisor

DATE: April 28, 2016

SUBJECT: **Agenda Item #4 - Consideration of a Sign Permit and Awning for the Marvin Design Gallery at 930 North Shore Drive**

Marvin Design Gallery is proposing to recover the existing awning framework over the front of their business at 930 North Shore Drive.

The sign code requirement for an awning sign in the L-1 is the same as in the CBD, and it reads, “the size of letters on an awning sign shall be no less than five inches and no greater than seven inches in height and shall be placed on the descending skirt only.” Since there is no “descending skirt” on the existing awning, the petitioners are requesting an exemption in order to have the lettering on the main portion of the awning. The proposed lettering ranges in size from 8” for the word “Marvin” to 3” for “by Evanston Lumber.” This requires an exemption since some letters are larger and some are smaller than the allowable size. Similar exemptions have been granted previously, most recently for Katie Hall Liz Mazur Photography on Center Avenue.

The following is a chart summarizing the measurements of the proposed signs:

Sign Code L-1	Proposed Signage
1.) One awning sign permitted per business	Complies
2.) Letters on the awning are to be between 5” & 7” tall	Exemption Requested
3.) Awning lettering shall be on descending skirt only	Exemption requested

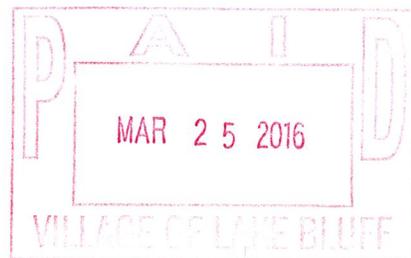
The ABR has the authority to:

- Recommend the Village Board grant or deny an exemption from the Sign Code regulations for the signage as presented;
- Approve a sign permit (with conditions) that complies with all Code regulations; or
- Deny the sign permit.

A representative of Marvin Design Gallery and Village Staff will be in attendance at Tuesday’s meeting to respond to questions from the ABR. If you should have any questions regarding this matter, please feel free to contact me at 847-283-6885.

20160073

**APPLICATION AND SIGN PERMIT
LAKE BLUFF, ILLINOIS**



PERMANENT AND TEMPORARY SIGNS

\$150.00

TD

Applicant:	Marvin Design Gallery by Evanston Lumber
Mailing Address:	930 North Shore Dr.
Telephone:	847-615-1003
Proposed Sign Location:	Same
Permanent or Temporary Sign:	Permanent Awning
Type of Sign (window, wall, ground etc.):	Awning w/ our Logo
Sign Company - Name and Phone:	Acme Awning 847-446-0153
Contact Individual Regarding Project:	Sharon Emanuelson

APPLICATION REQUIREMENTS

Permanent Signs Requiring Approval by the Architectural Board of Review or the Village Board

- A scaled drawing showing the lot and building(s) and structure(s) to which the sign(s) is/are to be attached or erected. The exact position of the sign(s) must be noted on the drawing, including the height of sign above grade, as applicable
- A scaled drawing or plan of the sign(s) showing construction details for the sign(s) including all dimensions including; letter sizes and styles, foundation and/or mounting materials, and sign height and width.
- A concise description of the construction materials and colors of all sign components.
- A detail of type and intensity of any lighting or illumination.
- Thirteen (13) copies are required if the proposal is in color and/or larger than 11x17.

Temporary Signs Requiring Approval by the Village Administrator

- A description of the location of the sign.
- A date when the sign will be erected and when it will be removed.
- A description of the type of sign, the sign materials and the sign size (lighting of temporary signs is prohibited).

NOTICE: Upon receipt of a completed application, including all related drawings and materials, a review date will be provided. The applicant or their designee must attend the review meeting. The Architectural Board of Review generally meets the first Tuesday of each month.

A fee of \$150.00 shall be charged for all permanent sign permit applications. The fee shall be paid at the time of application. Checks should be made payable to the Village of Lake Bluff.



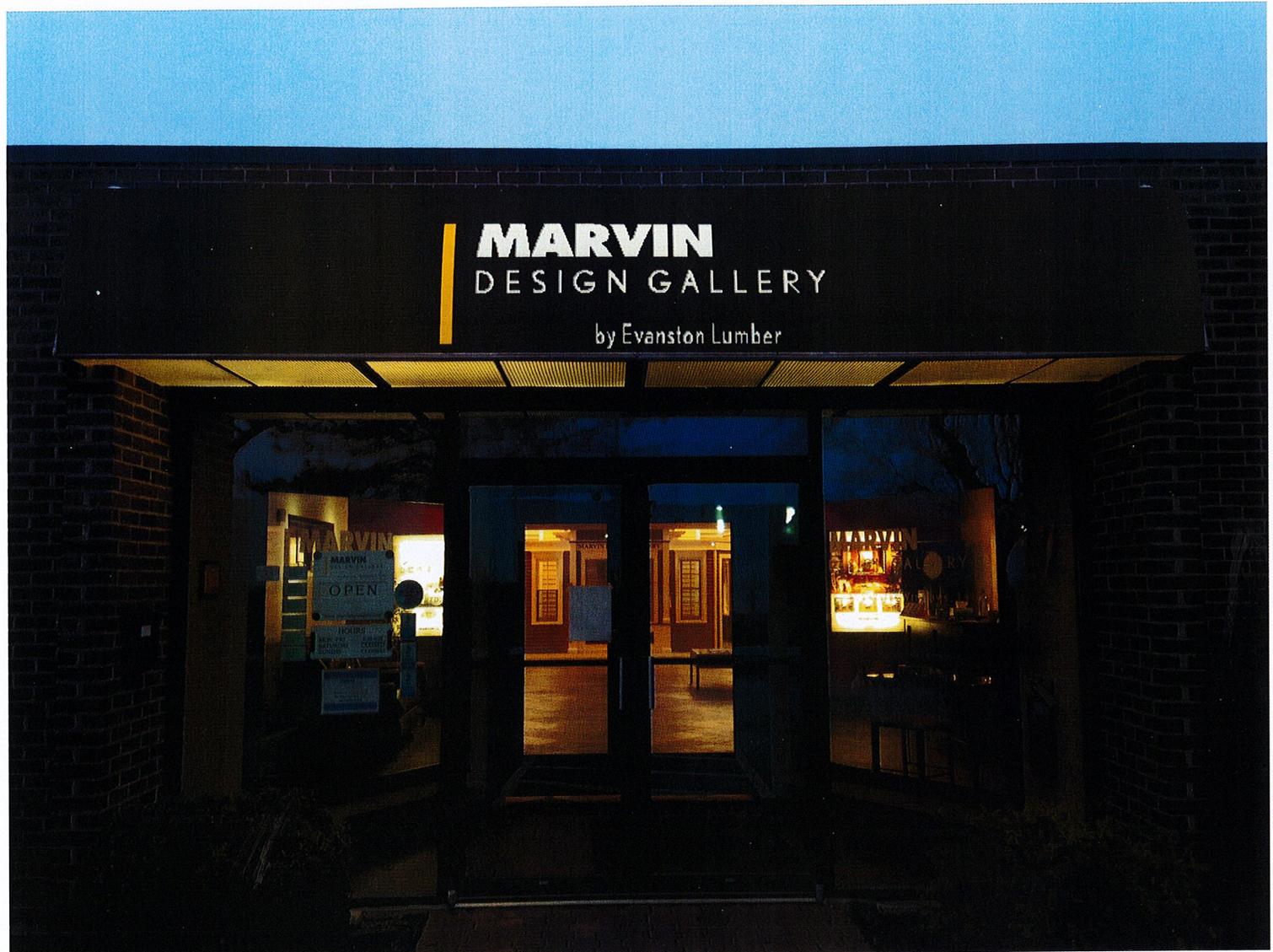
2801 Central St.
 Evanston, IL 60201
 Phone: 847-864-4520
 Fax: 847-864-5886
 awnings@evanstonawnings.com
 EVANSTONAWNINGS.COM

Sales: George Schaefer, CPP, Sales Mgr
 Rendering by: Aaron Hunzinger



NOTES:

- Quarter rounds style stationary awning recovered and installed on existing framework (MADE BY OTHERS) over entrance.
- Using Sunbrella material #4608 Black.
- Signage to be white/yellow color, applied to roof area.
- Signage size: 1'-10"w x 5'-6"w = 10sq ft.



JOB NAME	Marvin Design Gallery	PHONE	847-615-1003
CONTACT	Shavon Emanuelson	FAX	
JOB ADDRESS	930 Northshore Dr.	EMAIL	
CITY, STATE, ZIP	Lake Bluff, IL. 60044	MISC.	

This image belongs to Evanston Awning Co. and was produced to only represent awning design, fabric color and graphic placement, as recommended from discussion with customer. Changes can be made to any feature prior to production. Please indicate your approval of this image with your signature.



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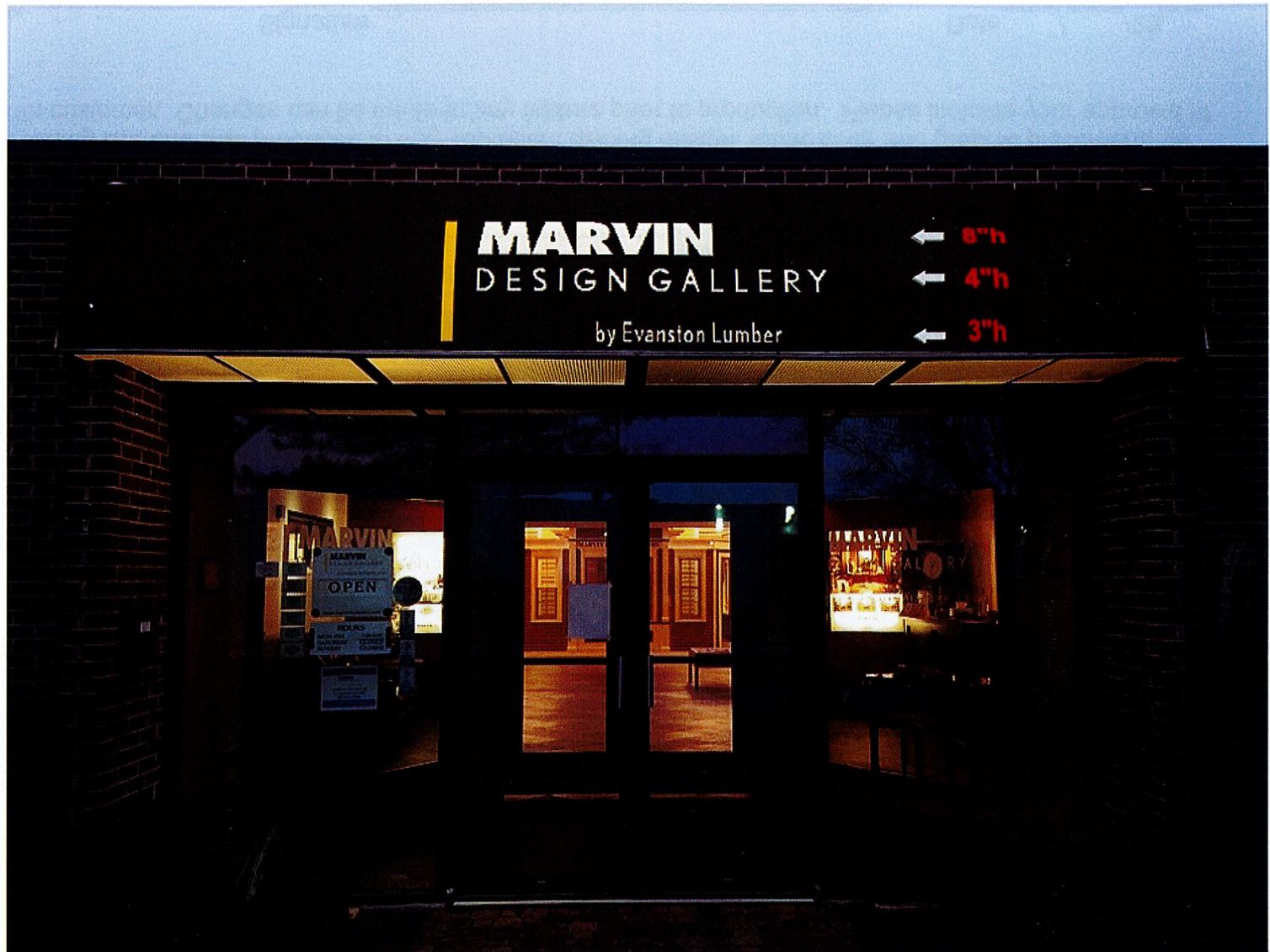
NOTES:

- Quarter round style stationary awning recovered and installed on existing framework (MADE BY OTHERS) over entrance.

- Using Sunbrella material #4608 Black.

- Signage to be white/yellow color, applied to roof area. SAME LAYOUT AS EXISTING AWNING.

- Signage size: 1'-10"h x 5'-6"w = 10sq ft.



JOB NAME	Marvin Design Gallery	PHONE	847-615-1003
CONTACT	Shavon Emanuelson	FAX	
JOB ADDRESS	930 Northshore Dr.	EMAIL	
CITY, STATE, ZIP	Lake Bluff, IL. 60044	MISC.	

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2801 Central St.
Evanston, IL 60201
Phone: 847-864-4520
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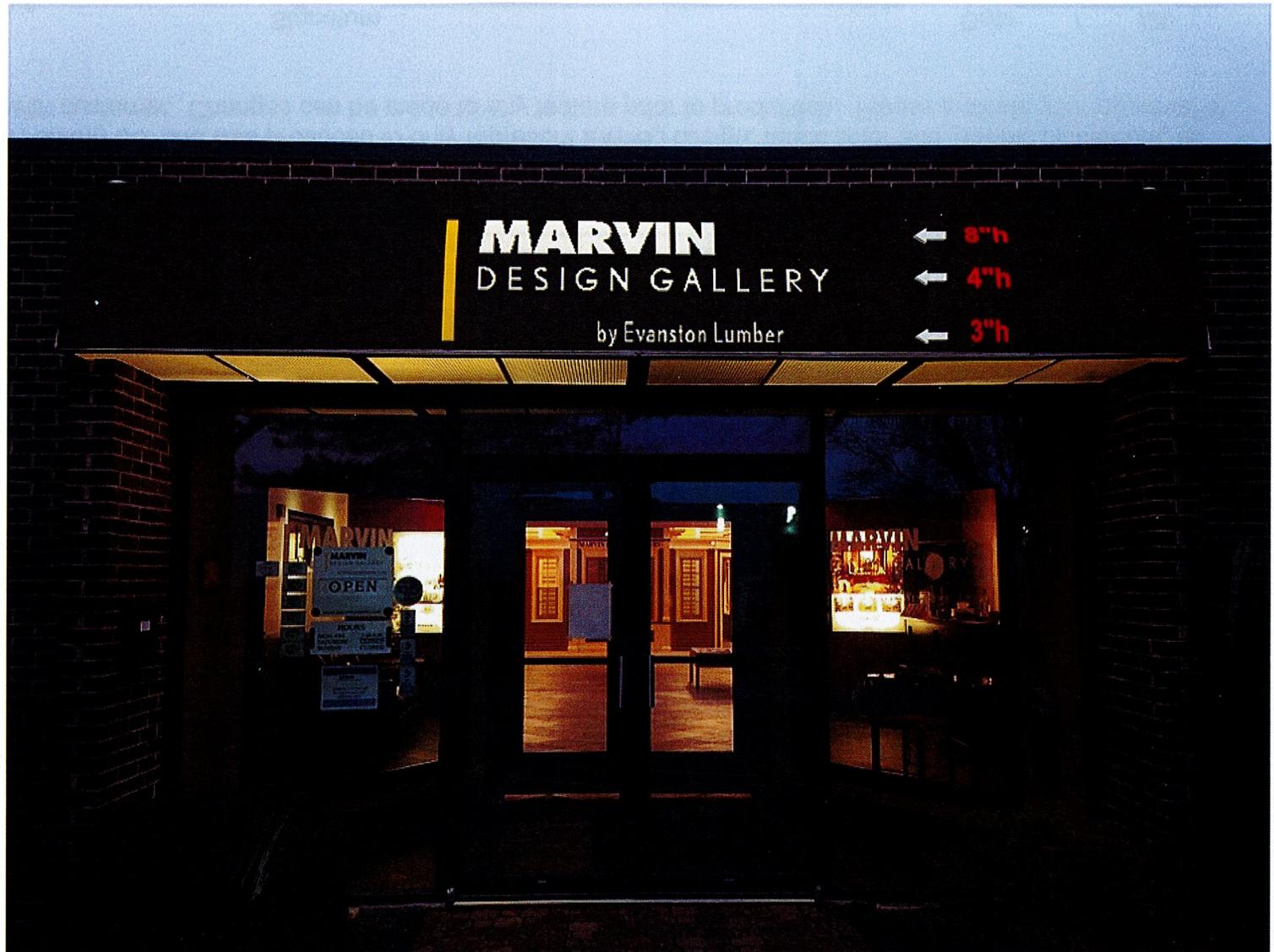
awnings@evanstonawnings.com
EVANSTONAWNINGS.COM

Sales: George Schaefer, CPP, Sales Mgr
Rendering by: Aaron Hunzinger



NOTES:

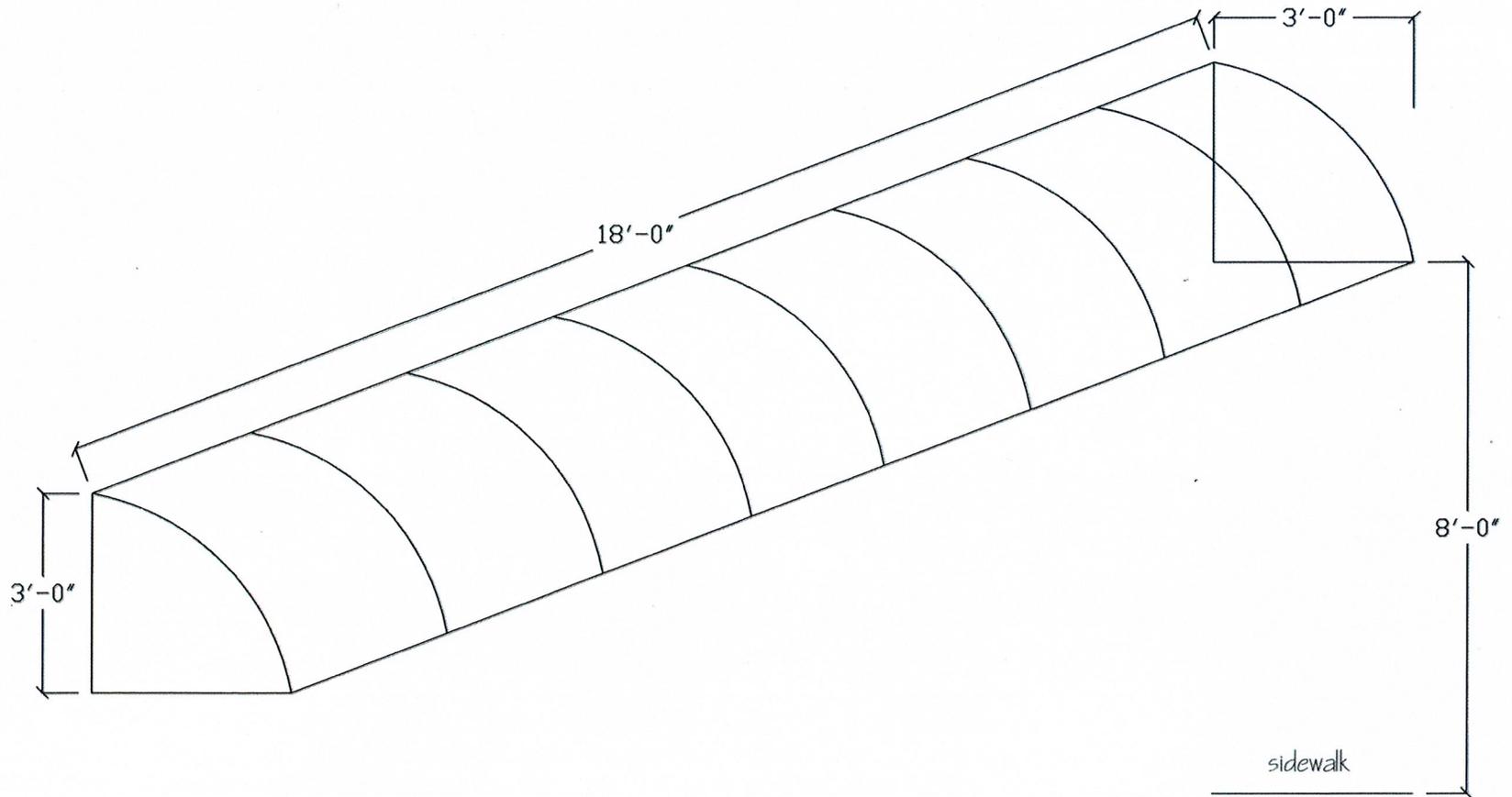
- Quarter round style stationary awning recovered and installed on existing framework (MADE BY OTHERS) over entrance.
- Using Sunbrella material #4608 Black.
- Signage to be white/yellow color, applied to roof area. SAME LAYOUT AS EXISTING AWNING.
- Signage size: 1'-10"h x 5'-6"w = 10sq ft.



JOB NAME	Marvin Design Gallery	PHONE	847-615-1003
CONTACT	Shavon Emanuelson	FAX	
JOB ADDRESS	930 Northshore Dr.	EMAIL	
CITY, STATE, ZIP	Lake Bluff, IL. 60044	MISC.	

This image belongs to Evanston Awning Co. and was produced to only represent awning design, fabric color and graphic placement, as recommended from discussion with customer. Changes can be made to any feature prior to production. Please indicate your approval of this image with your signature.

1 Quarter round style stationary awning recovered and installed on existing awning (made by others) over the entrance to the building. Frame made of welded extruded aluminum. Fabric attached by the staple-on method, using Sunbrella material #4608 Black.



2801 Central St. Evanston, IL 60201
847-864-4520

By signing this drawing you are agreeing with the proportionate shape and sizes indicated, fabric color and pattern, and proportionate graphics for the awning you have contracted to purchase from E.A.C.. This image belongs to E.A.C. and cannot be reproduced or used for alternate purposes.

Sign as approved for manufacturing

Date

Job: Marvin Design Gallery
930 Northshore Dr.
Lake Bluff, IL. 60044
Contact: Shavon Emanuelson
Scale: $\frac{3}{8}$ " = 1'-0"
Date: 4 - 18 - 2016

MARVIN
DESIGN GALLERY

BY ESTATES WINDOWS, LTD.

MARVIN
DESIGN GALLERY
OPEN

HOURS
MON-FRI 10:00 AM - 5:00 PM
SATURDAY 10:00 AM - 4:00 PM
SUNDAY CLOSED

1000 W. 10th St.
Des Moines, IA 50319
(515) 281-1111

VILLAGE OF LAKE BLUFF

Memorandum

TO: Chairman Hunter and Members of the Architectural Board of Review

FROM: Mike Croak, Building Codes Supervisor

DATE: April 28, 2016

SUBJECT: **Agenda Item #5 - Consideration of a Sign Permit for United Services at 46 Sherwood Terrace**

United Services moved into the building at 46 Sherwood Terrace slightly over a year ago. They are in the south half of the building that Bernie's Book Bank is in. They have not had any signage until now and are proposing to add a ground sign on the east side of the building, north of their driveway.

The following is a chart summarizing the measurements and code requirements relating to the proposed sign:

Sign Code L-1	Proposed Signage
1.) Two ground signs permitted on a corner lot	Complies—1 for Bernies, 1 for United Services
2.) Maximum area 64 sq ft	Complies—15 sq ft proposed
3.) Maximum height is 20'	Complies—54" height proposed

The ABR has the authority to:

- Approve a sign permit; or
- Deny the sign permit.

A representative of United Services will be in attendance at Tuesday's meeting to respond to questions from the ABR. If you should have any questions regarding this matter, please feel free to contact me at 847-283-6885.

**APPLICATION AND SIGN PERMIT
LAKE BLUFF, ILLINOIS**

PERMANENT AND TEMPORARY SIGNS

Applicant:	<i>UNITED SERVICES</i>
Mailing Address:	<i>46 SHERWOOD TERRACE</i>
Telephone:	<i>847-816-9800</i>
Proposed Sign Location:	<i>E. SIDE OF PROPERTY NEAR STREET</i>
Permanent or Temporary Sign:	<i>PERMANENT</i>
Type of Sign (window, wall, ground etc.):	<i>GROUND</i>
Sign Company - Name and Phone:	<i>SEMPER FI PRINTING</i>
Contact Individual Regarding Project:	<i>GARY SWENSON</i>

APPLICATION REQUIREMENTS

Permanent Signs Requiring Approval by the Architectural Board of Review or the Village Board

- A scaled drawing showing the lot and building(s) and structure(s) to which the sign(s) is/are to be attached or erected. The exact position of the sign(s) must be noted on the drawing, including the height of sign above grade, as applicable
- A scaled drawing or plan of the sign(s) showing construction details for the sign(s) including all dimensions including; letter sizes and styles, foundation and/or mounting materials, and sign height and width.
- A concise description of the construction materials and colors of all sign components.
- A detail of type and intensity of any lighting or illumination. - *NO REGARDING*
- Thirteen (13) copies are required if the proposal is in color and/or larger than 11x17.

Temporary Signs Requiring Approval by the Village Administrator

- A description of the location of the sign.
- A date when the sign will be erected and when it will be removed.
- A description of the type of sign, the sign materials and the sign size (lighting of temporary signs is prohibited).

NOTICE: Upon receipt of a completed application, including all related drawings and materials, a review date will be provided. The applicant or their designee must attend the review meeting. The Architectural Board of Review generally meets the first Tuesday of each month.

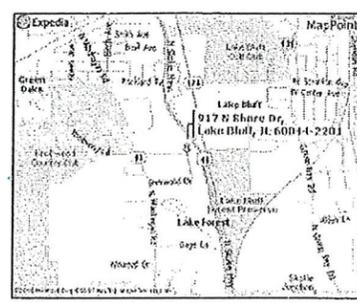
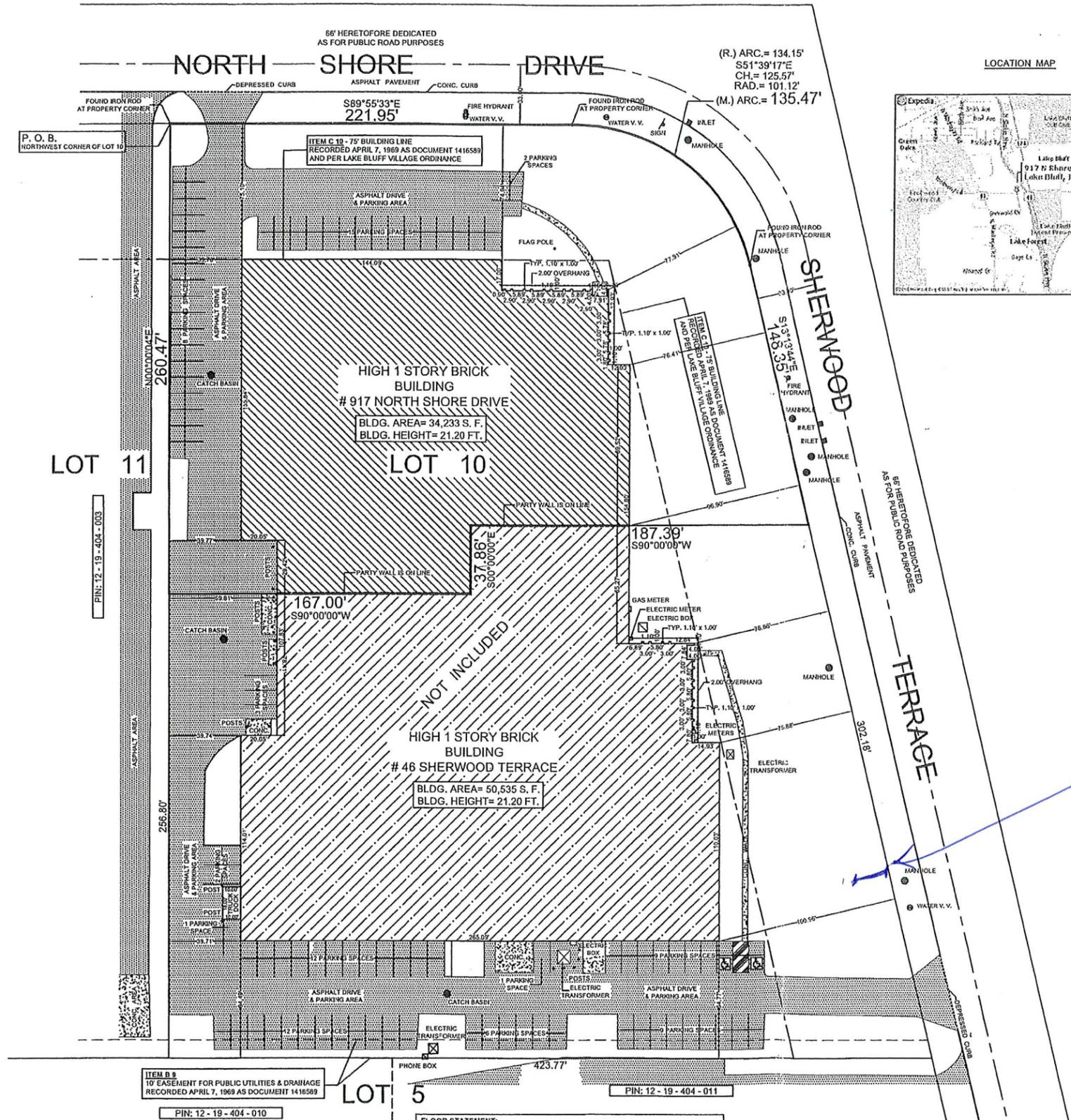
A fee of \$150.00 shall be charged for all permanent sign permit applications. The fee shall be paid at the time of application. Checks should be made payable to the Village of Lake Bluff.

File #917 NSD



LEGEND

- CATCH BASIN
- FIRE HYDRANT
- MANHOLE
- SIGN
- INLET
- WATER V.V.
- FLAG POLE
- PHONE BOX
- POST
- ELECTRIC TRANSFORMER



UNITED SURVEY SERVICE, LLC
 CONSTRUCTION AND LAND SURVEYORS
 3415 NORTH AVENUE, UNIT D, MELROSE PARK, IL 60160 - 1017
 TEL.: (847) 299 - 1010 FAX: (847) 299 - 5887
 E-MAIL: USURVEY@COMCAST.NET

ALTA / ACSM
LAND TITLE SURVEY

OF
 LOT 10 IN UNIT NO. 2 IN NORTH SHORE INDUSTRIAL AND RESEARCH CENTRE, BEING A SUBDIVISION OF LOT "A" IN NORTH SHORE INDUSTRIAL AND RESEARCH CENTRE, UNIT 1, LOCATED IN PARTS OF SECTIONS 19 AND 20, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OF UNIT 2 OF NORTH SHORE INDUSTRIAL AND RESEARCH CENTRE RECORDED APRIL 7, 1969 AS DOCUMENT 1416589, IN BOOK 46 OF PLATS, PAGE 43, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 10; THENCE SOUTH 89°55'33" EAST, A DISTANCE OF 221.95 FEET; THENCE A DISTANCE OF 135.47 FEET ALONG THE ARC OF A CIRCLE, CONVEX TO THE NORTHEAST, HAVING A RADIUS OF 101.12 FEET AND WHOSE CHORD OF 125.57, BEARS SOUTH 51°39'17" EAST; THENCE SOUTH 13°13'44" EAST, A DISTANCE OF 148.35 FEET; THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 187.39 FEET; THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 37.86 FEET; THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 167.00 FEET; THENCE NORTH 00°00'04" EAST, A DISTANCE OF 260.47 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

KNOWN AS: 917 NORTH SHORE DRIVE, LAKE BLUFF, ILLINOIS
 PERMANENT INDEX NUMBER: 12 - 19 - 404 - 004 (PART OF)
 AREA = 78,079 SQ. FT. OR 1.792 ACRES
 TOTAL PARKING SPACES = 35

CHICAGO TITLE INSURANCE COMPANY
 COMMITMENT NO.: 1409 000647276 NSC
 ITEM CORRESPONDING TO SCHEDULE B :

- ITEM B 9.
EASEMENT FOR PUBLIC UTILITIES AND DRAINAGE OVER THE SOUTH 10 FEET OF SAID LOTS AS SHOWN ON PLAT OF SUBDIVISION. (PLOTTED ON THE DRAWING).
- ITEM C 10.
BUILDING LINE 15 FEET WESTERLY OF THE EASTERLY AND 75 FEET SOUTH OF THE NORTH LINE OF SAID LOT, AS SHOWN ON PLAT OF SUBDIVISION. (PLOTTED ON THE DRAWING).

STATE OF ILLINOIS)
) S.S.
 COUNTY OF COOK)

THE UNDERSIGNED CERTIFIES TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7, 8, 9, 10 AND 11a OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF ILLINOIS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

MELROSE PARK, ILLINOIS, SEPTEMBER 26, A.D. 2008.

BY:
 ROY G. LAWNICZAK, REGISTERED ILLINOIS LAND SURVEYOR NO. 35-2290
 LICENSE EXPIRES: NOVEMBER 30, 2008
 PROFESSIONAL DESIGN FIRM LICENSE NO.: 184-004576
 LICENSE EXPIRES: APRIL 30, 2009



ORDERED BY: PRAIRIE REALTY ADVISORS, INC.		
SCALE: 1" = 30'		
DATE: SEPTEMBER 26, 2008		
FILE No.:		
2008 - 18526 -1	DATE	REVISION

FLOOD STATEMENT:
 THE SUBJECT PROPERTY IS NOT IN A FLOOD HAZARD AREA, AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AS SHOWN ON FLOOD INSURANCE MAP.

FLOOD ZONE: "X" - AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN

COMMUNITY NUMBER PANEL: 170373 0188 F

MAP NUMBER: 17097C0188 F

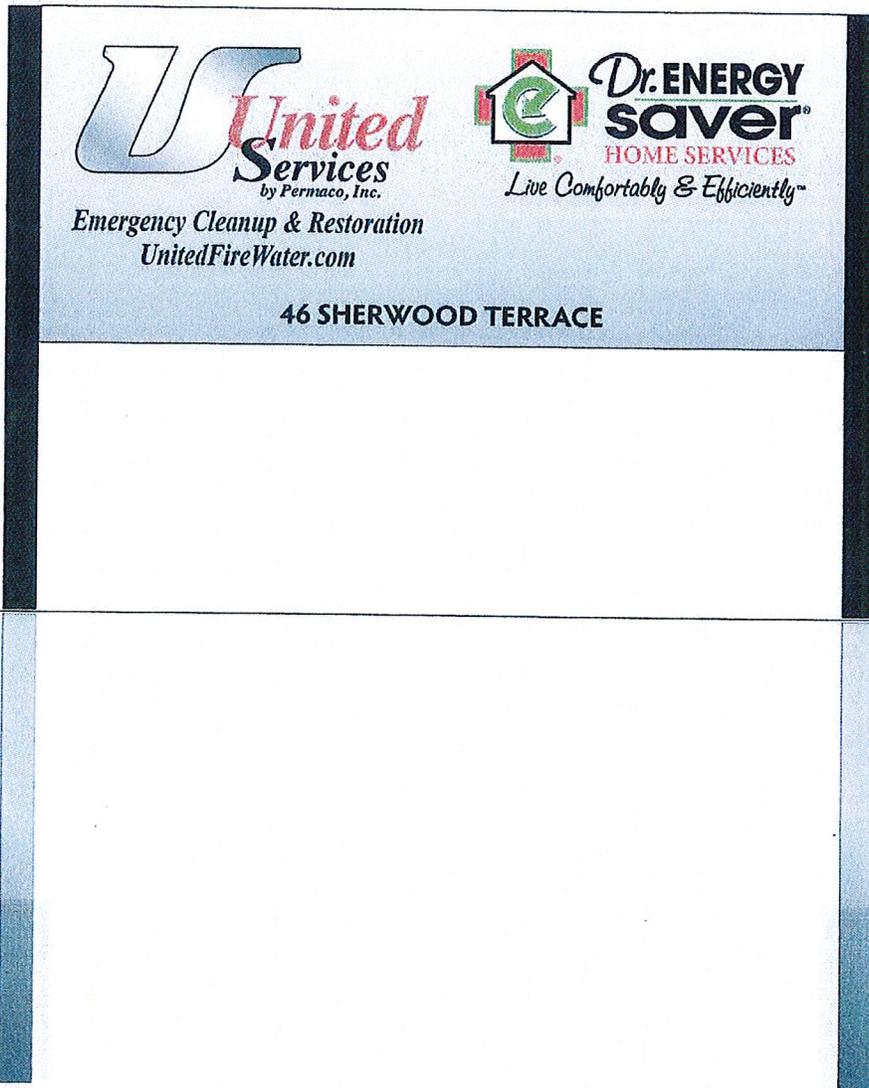
MAP REVISED - DATE: SEPTEMBER 3, 1997

ITEM B 9
 10' EASEMENT FOR PUBLIC UTILITIES & DRAINAGE RECORDED APRIL 7, 1969 AS DOCUMENT 1416589
 PIN: 12 - 19 - 404 - 010

PIN: 12 - 19 - 404 - 011

Sign

Face HxW: 30"x72"
3" Black Posts
Sign Face Installed 24" above grade



Grade Level

42"

In Cement

VILLAGE OF LAKE BLUFF

Memorandum

TO: Chairman Hunter and Members of the Architectural Board of Review

FROM: Mike Croak, Building Codes Supervisor

DATE: April 28, 2016

SUBJECT: **Agenda Item # 6 - A Discussion of Proposed Design Guidelines for Central Business District Block Two and Three**

Over the past several months the Architectural Board of Review (ABR) has conducted joint workshop discussions with Plan Commission and Zoning Board of Appeals regarding the Design Guidelines for CBD Blocks Two and Three. As you may recall, the joint workshops have resulted in a consensus regarding the Ten Planning Principles and preliminary comments on the balance of the Design Guidelines as presented by Teska Associates, Inc.

At Tuesday's meeting the ABR should discuss the balance of the Design Guidelines, including the zoning implications within the Guidelines, and make a recommendation to the Village Board to approve the Design Guidelines with any necessary modifications.

If you should have any questions regarding this matter, please feel free to contact me at 847-283-6885.

Attachments

- Design Guidelines
- Minutes of January 20 Workshop
- Previous Comments on the Design Guidelines

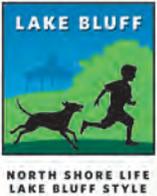


LAKE BLUFF DOWNTOWN SUBAREA VISIONING

BLOCKS TWO & THREE ARCHITECTURAL & STREETScape DESIGN GUIDELINES

FEBRUARY 1, 2016
WORKING DRAFT

PREPARED FOR:



THE VILLAGE OF
LAKE BLUFF

PREPARED BY



627 Grove Street
Evanston, Illinois 60201
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February 1, 2016



SCRANTON ALLEY

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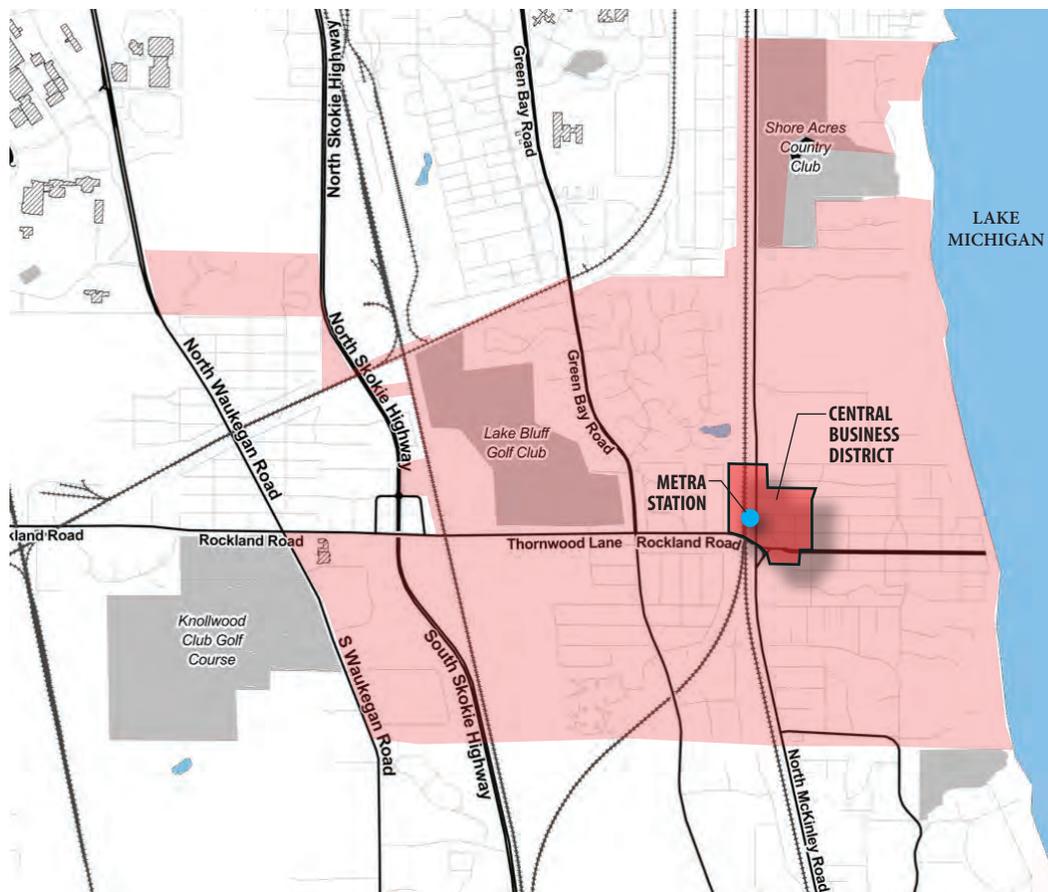
APPENDIX: VISUAL PREFERENCE SURVEY RESULTS

INTRODUCTION

The Village of Lake Bluff is distinguished by its casual small town charm amongst Chicago's North Shore Communities. Lake Bluff's Central Business District (CBD) plays a key role in setting the stage for the high quality of life enjoyed by the community, including:

- Access to destinations and municipal services, including the lakefront, Metra station, quality shopping and dining, Library, History Museum, Public Safety Building and Village Hall;
- Compact urban form of roadways and buildings that promote walkability and social interaction;
- Proximity to quality open spaces, such as the Village Green, that supports community events, such as Farmers Markets and the 4th of July Parade;
- Quality building architecture that references traditional forms and materials while supporting modern community needs.
- Presence of historic buildings as documented on the National Register of Historic Places

This Downtown Visioning project follows the Village's 1997 Comprehensive Land Use Plan and 1998 Plan for the Central Business District (*prepared by Teska Associates*). As portions of these plans have come to fruition over the past several years, the Village retained Teska Associates to conduct public outreach and guide architectural and streetscape design guidelines for the next phases of enhancements to the CBD. This may influence future zoning amendments and redevelopment.



SUMMARY OF 1998 CBD PLAN

“The CBD Plan: Phase Two of the Lake Bluff CBD Planning Study” (June 1998) was endorsed by the Village of Lake Bluff. This Plan supported the Village Board’s goals to promote CBD revitalization as stated in the Village’s Comprehensive Plan (1997). The plan supports the concept of a traditional CBD embodying a balanced mixture of retail, office and service, civic, and residential uses.

The Land Use concept supports a mix of uses located within a compact CBD environment, including retail, service, office and open spaces. Land Use areas were organized into Blocks One through Four as identified below.

Overall goals of the CBD Plan are:

- Opportunities for local residents – shopping, services, employment and business development;
- Economic vitality – productivity, financial performance and fiscal health;
- Sense of place – an attractive and memorable visual image;
- Spirit of community – that which brings people together;
- Residential harmony – appealing living environments within and/or adjacent to the business district.

EXISTING CONDITIONS MAP



— — Historic District Boundary as delineated in the United States Department of the Interior National, National Park Service National Register of Historic Places Continuation Sheet, Nov 15, 2006



The CBD Plan identified the Village Green as a key open space that contributes to CBD character. Development of municipal parking lots was encouraged to support the land use mix, including the development of a pedestrian-oriented, shopping street along Scranton Avenue. Private redevelopment projects were identified in this plan, and were articulated with possible site layout scenarios, parking & circulation patterns and architectural & streetscape design guidelines.

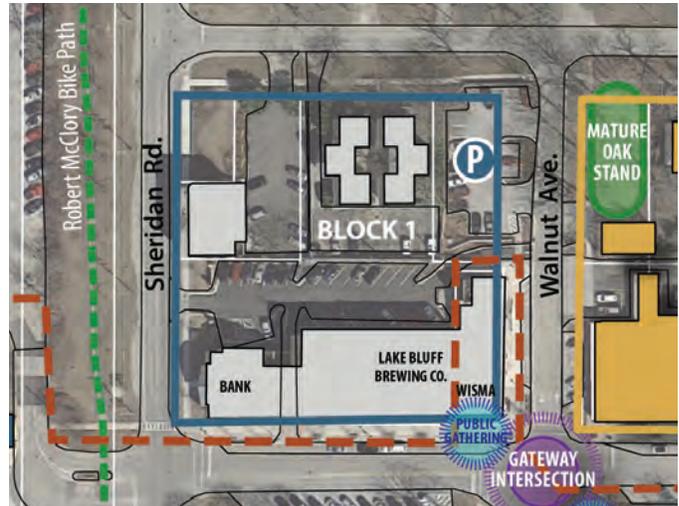
Streetscape design enhancements are identified in the plan, including expansion of the Village's lighting standard, development of gateway entrances and provisions for public art throughout the CBD.

Zoning recommendations were proposed, including an increased building height allowance, towards increasing private investment interest while protecting the visual character of the CBD.

DEVELOPMENT OF BLOCK ONE

The recommendations outlined within the 1998 CBD Plan provided guidance towards the redevelopment of Block One. Located just steps from the Metra Station and Village Green, Block One is bounded by Scranton Ave, North Ave, Sheridan Rd and Walnut Ave. The current development includes a mixture of uses, including retail and commercial office and surface parking at the rear. Ground floor commercial uses, such as the Lake Bluff Brewing Company, Maevery's and Wisma, among others, are very successful dining destinations that provide outdoor seating and enliven the Scranton Avenue streetscape.

As articulated in the 1998 CBD Plan, the building design for this block respects the three story maximum height limit. Architectural style is respectful of the Lake Bluff train station, the historic Village Market building (Wisma) and nearby residences along North Avenue. Building facades were designed to reduce the impact of building mass and appear as several smaller buildings with traditional masonry detailing, storefront windows and awnings. CBD Streetscape treatments were extended along Scranton Ave to Sheridan Road. North Avenue is a neighborhood street including continuous sidewalks, lawn parkways and shade tree plantings.



Existing Development Block One



View to Lake Bluff Brewing Company



Parking provided in the rear of the development

DESCRIPTION OF BLOCKS TWO AND THREE

The Downtown Visioning Plan will provide a long-term vision for improvements to certain blocks within the Central Business District (CBD). As a follow up to the Downtown CBD Planning Study prepared by Teska Associates (1998), the Downtown Visioning Program utilized outreach methods to build consensus around a community vision for key redevelopment parcels within the downtown area, namely the following two areas:

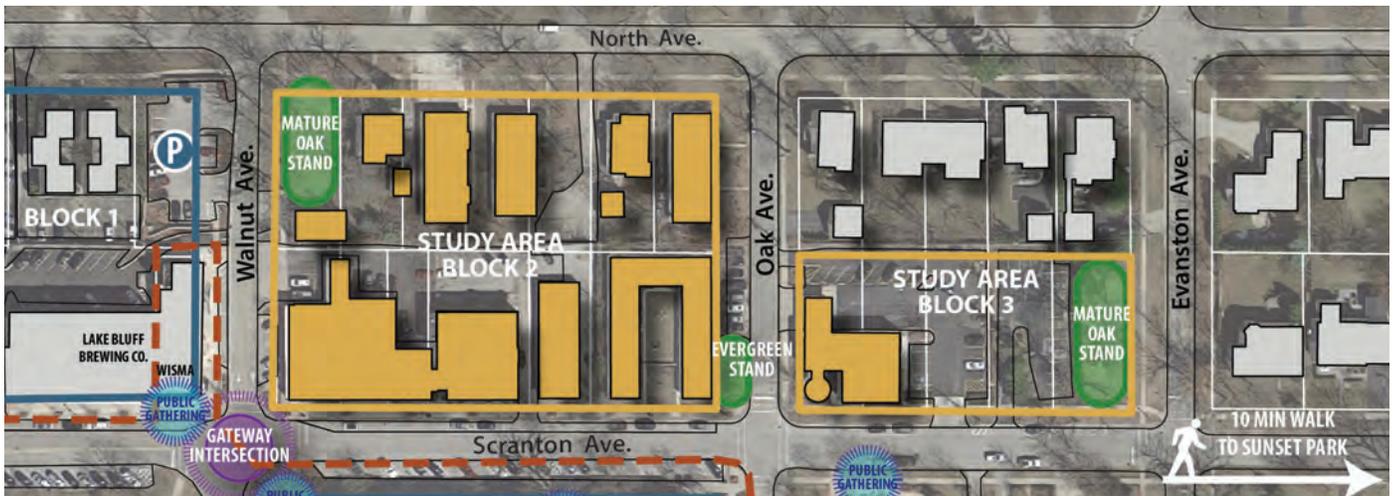
- Scranton/Oak/North/Walnut (identified in the Village's Zoning Code as "CBD Block Two")
- Scranton/Oak/Evanston (identified in the Village's Zoning Code as "CBD Block Three")

Existing Conditions

These blocks are characterized by the US Post Office, commercial offices, businesses, former PNC Bank and surface parking fronting on Scranton Avenue. One-story multi-family rental uses fronting on North Avenue. One residence at 105 East North Avenue was identified in the 1998 CBD Plan as being of "architectural significance." Due to vacancies and underutilized properties within Blocks Two and Three, these areas may be considered opportunities for redevelopment compatible with the CBD.

Proposed Land Uses

As identified in the 1998 CBD Plan, the proposed land use mix includes a compatible mixture of "specialty retail and service shops, small eating places, financial institutions, offices and multi-family residences". These land uses are considered to be compatible with the current CBD land use mix.



Existing Development Block Two and Three



Existing Block Two development along Scranton Ave



Former PNC Bank in Block Three

SUMMARY OF THE COMMUNITY'S VISIONING ACTIVITIES

Although the 1998 CBD Plan identified some site development scenarios, the Village took this opportunity to conduct outreach activities with the community towards guiding design and development standards for Blocks Two and Three.

Teska conducted the following outreach activities:

- Project Website:** The Imagine Lake Bluff website provided project information and announcements. The website invited the community to upload photos, from April 24 to May 31, 2015, for use in the Visual Preference Survey. Relevant photos were utilized in the Visual Preference Survey and Open House activities on June 24, 2015.
- Visual Preference Survey:** The Visual Preference Survey was issued via Survey Monkey. The purpose of the survey was to obtain community preferences relative to downtown redevelopment, including site layouts, building treatments, landscape and streetscape enhancements. The survey was open June 17 – July 31, 2015 and yielded 283 respondents.
- Open House Visioning Workshop:** The Workshop was attended by a variety of stakeholders, including elected and appointed officials, CBD property owners and merchants, as well as members of the community, comprising approximately 40 people. Participants were invited to identify their most and least preferred downtown development treatments via green and red stickers respectively. The Workshop took place at Village Hall on June 24, 2015 at 7pm. Workshop photos are displayed on the project website.
- Distribution and communications:** Outreach activities were announced and distributed to the community via the following channels: Village Website; Posters in Village Hall, Metra station, Library, Lake Bluff History Museum, businesses; Announcement in Village newsletter; Press releases; e-blasts to the community and invitations to the members of the ABR/PCZBA.

Additional information and analysis of all outreach activities can be found in the Appendix section of this report.

Outreach and communication poster material



Attendees of the June 24, 2015 workshop held at Village Hall

PURPOSE AND INTENT OF THE DESIGN GUIDELINES

The recommendations described in the Design Guidelines are derived from a documented community outreach program and best design and planning practices. The design guidelines are intended to promote the vitality and economic health of Lake Bluff's downtown area by providing design direction on the type, character and quality of the built environment that unify Blocks Two and Three with the surrounding CBD area.

The purpose of the guidelines is to implement the general policies and recommendations of ***The CBD Plan: Phase Two of the Lake Bluff CBD Planning Study***, prepared in 1998, by providing more detailed guidelines and specifications governing building architecture and improvements to public streetscapes within Blocks Two and Three of the CBD. The Design Guidelines are tools for communicating the design intent for future redevelopment and evaluating proposals. The overall goal is to ensure quality development that employs sound planning and design principles. The purpose of the guidelines is not to dictate a specific plan for the properties located in the CBD, but rather establish a set of standards and identify elements of building and streetscape design that should be encouraged in the downtown.

Design guidelines are an important means of building the economic prosperity of the CBD through the implementation of a unified vision that will continue to promote the themes and characteristics that are unique to Lake Bluff. Since, like most suburban communities, the downtown is no longer the sole center for the Village's retailing and service needs, it must be able to compete with other areas in the Village and surrounding communities that also offer these services. This can be most effectively done by conserving and creating a high quality environment, with an inviting image, that has its own unique sense of place.

The design guidelines are part of the design review that ensures new development, redevelopment and remodeling enhances the visual quality and identity of downtown Lake Bluff. The goal is to build upon the existing attractive CBD destinations with an appealing atmosphere that reflects harmony and continuity in building design and streetscape improvements. The objective is to continue to promote Lake Bluff's downtown center as a pedestrian-friendly environment that fosters civic pride and ownership, promotes a sense of place, and offers a feeling of security. Good design increases property values when these goals are achieved.

The concept of development review is not new in Lake Bluff. Existing building and zoning codes regulate the use of property and set standards for building height, setback, landscaping and parking. Design review, however, works to ensure that new construction, and changes to existing buildings in the downtown, are compatible with the character of the community.

The successful implementation of these guidelines will reinforce the downtown area's unique image as a distinct and inviting place to live, work, shop, and gather, which offers a unique appeal not found in other commercial areas of the Village.

INTRODUCTION TO THE DESIGN GUIDELINES

Lake Bluff has long been associated with a charming, walkable downtown environment nearby to lakefront homes and pedestrian friendly open spaces. Vernacular architecture found within the Village reflects Lake Bluff's cultural history as a resort destination that provided religious, social, cultural, educational and recreational programs within Lake Bluff's unique lakefront and ravine settings. Per the publication entitled "Village of Lake Bluff, Illinois: A Summary and Architectural Survey" (Historic Certification Consultants, 1998), cottage, bungalow and American Foursquare were identified among the vernacular house types in Lake Bluff.

Multiple properties within the CBD are documented on the National Register of Historic Places as indicated on the Existing Conditions Map pg 2.

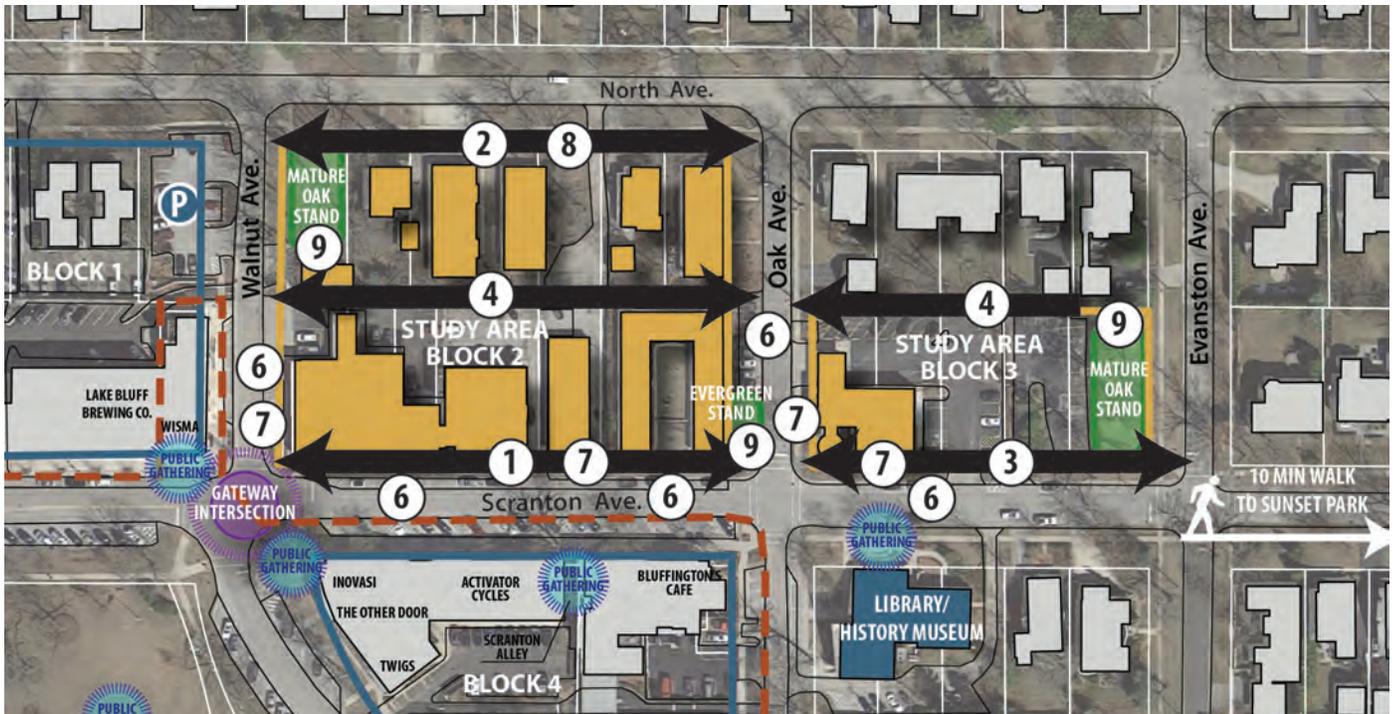
Commercial properties located within the CBD incorporate traditional storefront treatments, masonry materials and parking oriented towards the rear. Surrounding the CBD, residential properties incorporate a range of architectural expressions including cottage and bungalow style architecture.

Although these treatments are considered part of the Village's architectural style, it should be noted that these treatment types are also ranked as 'most preferred' during the public outreach activities.

The Architectural Design Guidelines referenced herein incorporate building treatments that are preferred by the community and are also considered part of the vernacular style of Lake Bluff.



PLANNING PRINCIPLES



The following planning principles have been identified for Blocks Two and Three of the CBD:

1. Where Block Two abuts Scranton Ave, ground floor commercial uses, compatible with the CBD, should promote the pedestrian-oriented main street environment of Scranton Ave.
2. Where Block Two abuts North Ave, residential uses with appropriate setbacks should be in character with and scaled to the surrounding neighborhoods.
3. Block Three should be treated as a residential transition between the CBD to the west and scaled to the surrounding neighborhoods.
4. Blocks Two and Three should make use of internal alleyways for service and loading with vehicular access from Oak Ave and/or Walnut Ave.
5. Off street parking storage should be provided within building structures and behind building developments so as to be screened from public view.
6. On-street parking storage should include parallel parking along Scranton Ave. Diagonal parking may be considered along Walnut Ave and Oak Ave.
7. There should be continuity of CBD streetscape treatments along Scranton Ave and southern portions of Walnut and Oak Avenues, including wide sidewalks, traditional light poles, in ground tree planters, and site furnishings as appropriate.
8. Streetscape treatments along North Ave streetscape should be treated as an extension of the neighborhood street, including continuous sidewalks, parkways, and canopy tree plantings.
9. Mature stands of trees and open spaces should be preserved.
10. Public gathering spaces are encouraged as are pedestrian ways that provide linkages between the development entrances, parking areas and surrounding CBD destinations.

The Design Guidelines is organized into two parts:

Part One: Architectural Design Guidelines

– describe preferred building treatments organized by building typology.

Part Two: Site and Streetscape Design Guidelines

– describe preferred treatments organized by site and streetscape function.

PART ONE: ARCHITECTURAL DESIGN GUIDELINES

**BUILDING
TYPOLOGY 1:** Mixed-Use Buildings

**BUILDING
TYPOLOGY 2:** Multi-Family Residential
Buildings

**BUILDING
TYPOLOGY 3:** Attached Single-Family
Rowhomes

**BUILDING
TYPOLOGY 4:** Detached Single-Family
Homes



TYPOLGY 1 - Mixed-Use Buildings



TYPOLGY 2 - Multi-Family Residential Buildings



TYPOLGY 3 - Attached Single-Family Rowhomes



TYPOLGY 4 - Detached Single-Family Homes

BUILDING TYPOLOGY 1:

Mixed-Use Buildings

BUILDING TREATMENTS

Community Preference Snapshot

When reviewing mixed-use building types, preferences were expressed for buildings oriented towards the public street and along the sidewalk edge with high quality traditional architecture; and parking located at the building rear with screening and ornamental landscaping. A strong preference was expressed against architecture with relatively flat articulation and parking located in front or at the sides of buildings.

Building Orientation

- Buildings should be positioned at the sidewalk and form a “street wall” with an allowance for articulation.
- Building entrance should face street.
- Parking areas are encouraged behind buildings and/or underground. Pedestrian accessways should be provided to connect parking areas with building entrances. Any breaks in the street wall should be used for open space, plazas, public art or pedestrian ways.
- Shared parking facilities are encouraged.
- Buildings located on corner lots should integrate design features that create focal points at intersections such as iconic building characteristics. Such features should be sensitively incorporated into the CBD.

Building Proportion & Scale

- Maximum building height should be three (3) stories including roof.
- Buildings taller than 2-1/2 stories are discouraged along North Ave.
- One (1) story buildings are discouraged.
- Match or transition building proportions between existing adjacent buildings.
- Buildings should use traditional vocabularies to express clear definitions between the building base, middle and top via architectural articulation, including, but not limited to: variations in building materials, articulation of building coping and cornice, and variation in roof lines.



Buildings should be positioned at the sidewalk and form a “street wall” with an allowance for articulation



Building orientation with parking in the rear and pedestrian access between Scranton Avenue and parking area



Corner building features create focal points at intersections

- Exterior walls should be treated with vertical breaks in the building façade so as to create interest and shadow, thereby minimizing potential monotony of expansive facades.
- Rooflines should incorporate variations in form, including but not limited to, articulated eaves, mansard, hipped and gable ends.
- Upper floor setbacks are encouraged to create architectural articulation and interest, thereby minimizing potential monotony of expansive facades.
- Building corners, edges and entrances should be articulated to reduce visual monotony.
- Strategically located breaks in the building mass are encouraged to provide public plaza space and access between rear loaded parking and the street frontage.



Vertical breaks and articulation in the building facade



Large display windows



Parking located at the building rears with pedestrian accessways

Facade Treatments & Materials

- All exposed faces of buildings shall be treated with quality architectural finishes.
- At a minimum, the primary building material should be durable materials, such as limestone and brick. Additional non-traditional cladding materials, such as metals, or concrete, and cultured stone panels may be appropriate within limited applications.
- Building entrances should be prominent and accessible from the public street.
- Ground floor windows should be large display windows of storefront proportions.
- Awnings and canopies are encouraged along the public walkway. Awning / canopy materials should be fabric.



Awnings and canopies are encouraged along the public walkway

- Windows should use traditional proportions and vocabulary.
- Windows should incorporate multiple divisions in the glass, such as mullions.
- Building cornices, friezes, lintels, sills and surrounds should be clearly expressed with limestone or metal materials.
- Upper story balconies should be recessed into the building rather than hung off exterior walls.
- Quality materials should be consistent throughout.
- All side or rear facades in or adjacent to the central business district should be treated as major elevations with quality architectural finishes, including but not limited to, trelliage, planters, appropriate lighting and signage and have variations that provide interest.

Roofing Treatments & Materials

- Roof variations that provide interest and break-up the scale of the building are encouraged.
- Upper story cornices and friezes should be clearly expressed with limestone or metal materials.
- All rooftop equipment including, but not limited to, satellite and other telecommunication equipment, air handling units, elevator equipment, cooling towers and exhaust fans are to be screened from view. Equipment screens should be treated as part of the architectural design with similar detailing and materials as the building architecture.



Rear entrances to commercial properties should be treated with quality architectural finishes such as lighting and signage



Majority of roof system should include parapet and/or mansard roofs



Upper story balconies should be recessed into the building



Upper story cornices and friezes should be clearly expressed with limestone or metal materials

BUILDING TREATMENTS

Community Preference Snapshot

When reviewing multi-family building types, preferences were expressed for buildings oriented towards the public street and setback behind a modest greenlet; high quality traditional architecture; visual breaks in building mass; clearly defined front entrances; definition of vertical and horizontal facade features; and parking located at the building rear. A strong preference was expressed against buildings located against the sidewalk edge; architecture with relatively flat articulation and parking located in front or at the sides of buildings.

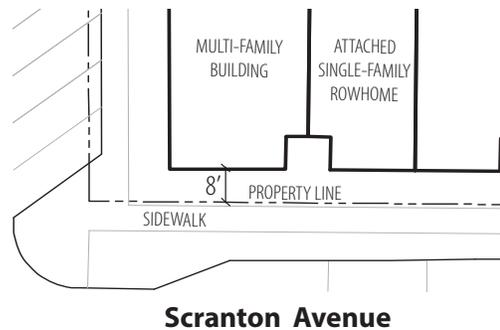
Building Orientation

- Residential buildings should be set back from the lot line. Landscape should be provided between residences and the public right of way.
- Residential buildings fronting a commercial street should be setback min. eight (8') feet from lot line.
- Residential buildings fronting a residential street should be setback min. fifteen (15') feet from lot line.
- Parking areas are discouraged between buildings and public streets.
- Parking areas are encouraged behind buildings, shared parking lots, and/or underground.
- **Shared parking is encouraged.**

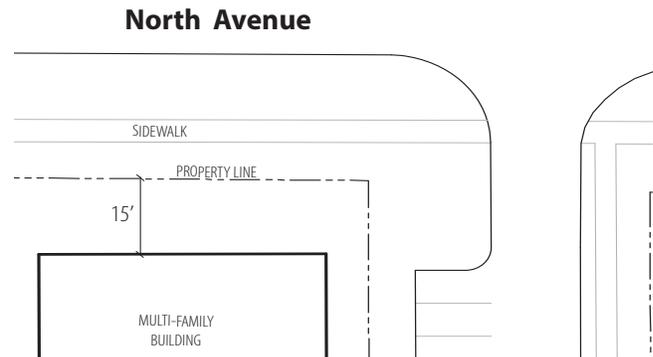
Building Proportion & Scale

- Maximum building height should be three (3) stories.
- Buildings taller than 2-1/2 stories are discouraged along North Ave.
- Match or transition building proportions between existing adjacent buildings.
- Buildings should express clear definitions between the building base, middle and top via architectural articulation, including, but not limited to: variations in building materials, articulation of building coping and cornice, and variation in roof lines.

- Exterior walls should be treated with vertical breaks in the building facade so as to create interest and shadow, thereby minimizing potential monotony of expansive facades.
- Rooflines should incorporate variations in form, including but not limited to, articulated eaves, mansard, hipped and gable ends.
- Upper floor setbacks are encouraged to create architectural articulation and interest, thereby minimizing potential monotony of expansive facades.
- Building corners, edges and entrances should be articulated to reduce visual monotony.
- Internal courtyards are encouraged to provide green space and minimize long expansive facades.
- Strategically located breaks in the building mass are encouraged to provide public plaza space and access between rear loaded parking and the street frontage.



Residential buildings fronting a commercial street should be setback min. eight (8') feet from lot line



Residential buildings fronting a residential street should be setback min. fifteen (15') feet from lot line



Exterior walls should be treated with vertical breaks in the building facade, articulation of building coping and cornice, and variation in roof lines.



Residential buildings should be set back from the lot line. Landscape should be provided between residences and the public street.



Internal courtyards are encouraged to provide green space and minimize long expansive facades and can include amenities such as seating areas, walkways, landscaping, water features, bike racks and fire pits.



Facade Treatments & Materials

- All exposed faces of residential buildings shall be treated with quality architectural finishes.
- At a minimum, the primary building material should be masonry materials, such as limestone and brick.
- Materials other than those listed above may be used for architectural trim and accent applications including, but not limited to, string courses and other accents.
- **Building entrances should be prominent and accessible from the public street.**
- Upper story window proportions should be ‘punched windows’ or smaller than the proportions of the facade and recessed into the exterior wall.
- Windows should have a repetitive rhythm which relates to the overall exterior masonry wall.
- Windows should incorporate multiple divisions in the glass, such as mullions.
- Building cornices, friezes, lintels, sills and surrounds should be clearly expressed with high quality materials such as masonry. EIFs is discouraged.
- Upper story balconies are encouraged as appropriate to the building program. Balcony design shall be compatible with the overall architectural rhythm and scale of the building.
- Balcony railings should be constructed of wood composite or metal materials.
- **Trash and utility enclosures and screens should match building with respect to materials.**
- Where underground structured parking is planned within a building development, the following facade treatments are recommended:
 - Garage door articulation should be compatible with the architecture of the primary building.
 - Entrance to garage should be located off-street or in the alley where appropriate.
- Any garage or accessory building shall reference the architecture of the principal building.



Window mullions express multiple divisions in the glass



All exposed faces of residential buildings should be treated with quality architectural finishes including brick and limestone



Windows should have a repetitive rhythm which relates to the overall exterior masonry wall

Roofing Treatments & Materials

- Rooflines should incorporate variations in form, including but not limited to, parapet, mansard, hipped and gable ends.
- Roof variations that provide interest and break-up the scale of the building are encouraged.
- Upper story cornices and friezes should be clearly expressed with limestone or metal materials.
- All rooftop equipment including, but not limited to, satellite and other telecommunication equipment, air handling units, elevator equipment, cooling towers and exhaust fans are to be screened from view. Equipment screens should be treated as part of the architectural design with similar detailing and materials as the building architecture.



Example of a gable roof



Variations in roof form are encouraged



Building entrances should be prominent and accessible from the public street and recessed into the facade a minimum of 5'-0"



Upper story cornices and friezes should be clearly expressed with limestone or metal materials

BUILDING TREATMENTS

Community Preference Snapshot

When reviewing single-family rowhome types, preferences were expressed for buildings oriented towards the public street and setback behind a modest greenlet; high quality traditional architecture; visual breaks in building mass; clearly defined front entry porches; definition of vertical and horizontal facade features; and parking located at the rears of buildings. A strong preference was expressed against buildings located against the sidewalk edge; architecture with relatively flat articulation; and parking located in front or at the sides of buildings.

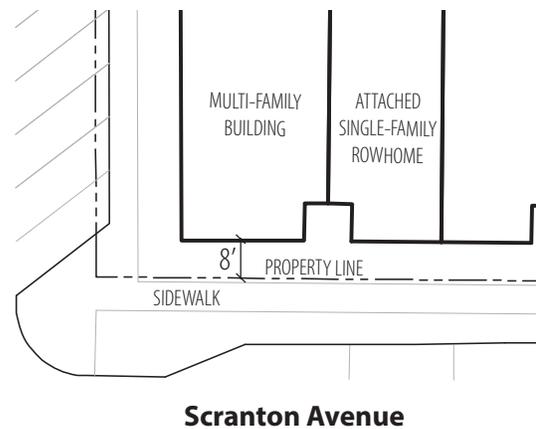
Building Orientation

- Residential buildings should be set back from the lot line. Landscape should be provided between residences and the public street.
- Residential buildings fronting a commercial street should be setback min. eight (8') feet from lot line.
- Parking areas are encouraged behind buildings in alleyway.
- Front entry porches oriented towards the street are encouraged to maintain a street-friendly pedestrian scale.

Building Proportion & Scale

- Maximum building height should be three (3) stories.
- Buildings taller than 2-1/2 stories are discouraged along North Ave.
- Match or transition building proportions between existing adjacent buildings.
- Buildings should express clear definitions between the building base, middle and top via architectural articulation, including but not limited to: variations in building materials, articulation of building coping and cornice, and variation in roof lines.
- No more than eight (8) units should be attached without a break in the building to maintain a street-friendly pedestrian scale and as per best design practices.

- Rooflines should incorporate variations in form, including but not limited to: articulated eaves, mansard, hipped and gable ends.
- Upper floor setbacks are encouraged to create architectural articulation and interest, thereby minimizing potential monotony of expansive facades.
- Building corners, edges and entrances should be articulated to reduce visual monotony.



Residential buildings fronting a commercial street should be setback min. eight (8') feet from lot line.

Facade Treatments & Materials

- All exposed faces of residential buildings shall be treated with quality architectural finishes.
- At a minimum, the primary building material should be masonry materials, such as limestone and brick. Materials other than those listed above may be used for architectural trim and accent applications including but not limited to: string courses and other accents.
- Upper story window proportions should be 'punched windows' or smaller than the proportions of the facade and recessed into the exterior wall.
- Windows should have a repetitive rhythm which relates to the overall exterior masonry wall.
- Windows should incorporate multiple divisions in the glass, such as mullions.
- Building cornices, friezes, lintels, sills and surrounds should be clearly expressed with limestone or metal materials.
- Balcony railings should be constructed of wood composite or metal materials.
- Upper floor facade enhancements that are consistent with the overall building style are encouraged. These materials should be constructed of wood composite materials.

Roofing Treatments & Materials

- Roof variations that provide interest and break-up the scale of the building, such as dormers, are encouraged.
- Architectural details appropriate to the principal building style are encouraged.



Landscape should be provided between residences and the public street



Upper floor facade enhancements such as exposed rafter tails and brackets may be considered as appropriate to the overall building style



Variations in building materials, articulation of building coping and cornice, and variation in roof lines are encouraged

**BUILDING
TYPOLOGY 4:**

Detached Single-Family
Homes

BUILDING TREATMENTS

Community Preference Snapshot

When reviewing single-family home types, preferences were expressed for detached single-family buildings oriented towards the public street and setback behind a modest greenlet; high quality traditional architecture; visual breaks in building mass; clearly defined front entry porches; definition of vertical and horizontal facade features; and parking located at the rears of buildings. A strong preference was expressed against buildings located against the sidewalk edge; architecture with relatively flat articulation; and parking located in front or at the sides of buildings. A diversity of architectural styles is encouraged towards expressing an established and mature appearance consistent with the CBD.

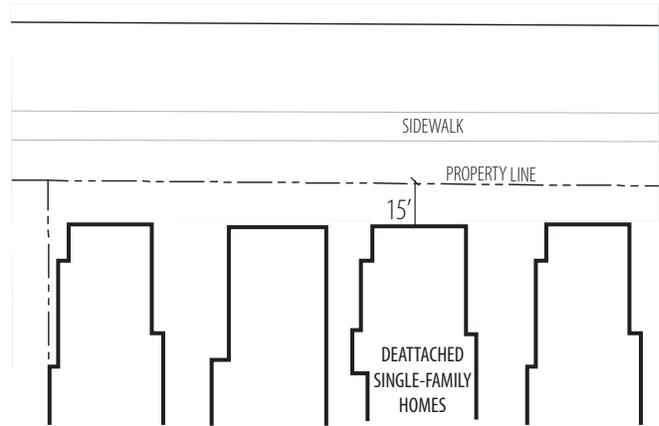
Building Orientation

- Residential buildings should be set back from the lot line.
 - Landscape should be provided between residences and the public street.
 - Residential buildings fronting a residential street should be setback min. fifteen (15') feet from lot line.
- Parking areas are encouraged behind buildings in alleyway.
- Front entry porches oriented towards the street are encouraged to maintain a street-friendly pedestrian scale.

Building Proportion & Scale

- Maximum building height should be two-and-a-half (2.5) stories.
- Match or transition building proportions between existing adjacent buildings.
- A diversity of architectural styles is encouraged, including, but not limited to: variations in building materials, articulation of building coping and cornice, and variation in roof lines.
- Rooflines should incorporate variations in form, including but not limited to, articulated eaves, mansard, hipped and gable ends.

North Avenue



Residential buildings fronting North Avenue should be setback min. fifteen (15') feet from lot line.



Front entry porches are encouraged to maintain a street-friendly pedestrian scale



Variations in building materials and articulation in facade and roof are encouraged

Facade Treatments & Materials

- All exposed faces of residential buildings shall be treated with quality architectural finishes.
- Front porches are encouraged.
- Masonry materials, such as stone or brick, are preferred for the first floor porch bases. Siding materials such as fiber cement siding, paneling, or other durable materials are encouraged.
- Windows should have a repetitive rhythm which relates to the overall exterior wall.
- Windows should incorporate multiple divisions in the glass, such as mullions.
- Upper floor facade enhancements such as exposed rafter tails, brackets and treillage are encouraged. These materials should be constructed of wood composite materials.

Roof Treatments & Materials

- A variety of hipped or gabled roofs are encouraged.
- Roof variations that provide interest and break-up the scale of the building, such as dormers, are encouraged.
- Upper story cornices and friezes should be clearly expressed with wood composite materials.



At a minimum, masonry materials, such as limestone and brick, should be incorporated at the first floor along the building entry porch base



A variety of hipped or gabled roofs are encouraged



Upper floor facade enhancements such as exposed rafter tails and brackets are encouraged.



Roof variations that provide interest and break-up the scale of the building, such as dormers, are encouraged

PART TWO: SITE AND STREETSCAPE DESIGN GUIDELINES

SITE AND STREETSCAPE:

Parking & Landscaping
Plazas & Accessways
Signage & Lighting
Streetscape

SITE ENHANCEMENTS

Community Preference Snapshot

During the community visioning activities, a strong preference was expressed to maintain the high quality and pedestrian-friendly scale of the downtown, including outdoor plazas, pedestrian oriented alleyways and public gathering spaces. As described in the architectural design guidelines above, building and site design should reserve strategically located open spaces for these uses. The following site and streetscape design guidelines describe treatments of these public and semi-public spaces which are critical to maintaining a street-friendly scale in the CBD.

Parking & Landscaping

- Required parking should be provided within each development site.
- When feasible, separate vehicular and pedestrian circulation systems should be provided. Pedestrian linkages should be emphasized between parking areas and building entrances.
- Parking areas which accommodate a significant number of vehicles should be divided into a series of connecting smaller lots separated by open space medians, islands and pedestrian walkways.



Landscaped pedestrian access from parking areas to building entrances

- Landscaping should be protected from vehicular and pedestrian encroachment by raised planting surfaces, depressed walks or the use of curbs.
- Perimeter landscape setbacks shall be provided as follows:
 - Landscaping should define entrances to parking lots and buildings. Landscaping should also direct pedestrians to pathways and walkways.
 - Where parking areas abut public streets a 6'-0" wide minimum perimeter planting area should be provided. These planting areas should be treated with a mixture of canopy trees, shrubs and groundcover. Maximum shrub and groundcover height shall be 3'-0" in ht. Canopy trees shall be selected and installed such that the first lateral branches are not less than 7'-0" in ht.
 - Where parking areas abut residential properties a 6'-0" minimum wide screening perimeter planting area should be provided. These areas should be treated with 6'-0" ht. opaque masonry or wood fences and shrubs.
- Interior landscape planting islands should be provided throughout parking areas as follows:
 - Not more than 15 contiguous parking spaces shall be provided without an interior planting island. Interior planting islands shall be at least 9'-0" wide and support a mixture of canopy trees and groundcover plantings.
 - All plant materials shall be selected for their durability and tolerance to deicing salt and urban conditions.
- Rear yard parking, loading and service areas shall be screened. Minimum width for screening shall be 6'-0" and should comprise of privacy fencing and landscape plantings.
- Trash enclosures shall be masonry, wood or metal. Perimeter landscaping is recommended around trash enclosures as appropriate.



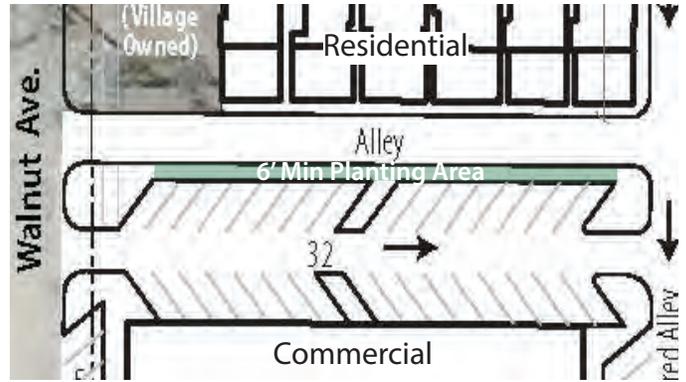
Parking perimeter planting screens automobiles from the public street



Parking perimeter planting screens automobiles from adjacent properties



Where parking areas abut residential properties, a 6'-0" minimum wide screening perimeter planting area should be provided



Masonry trash enclosure

Plazas & Pedestrian Accessways

- Properly scaled outdoor dining and plaza spaces may be created along the street frontage.
- Outdoor plazas should be visually and functionally accessible from the public street.
- Plazas should incorporate landscaping and lighting to provide a safe and attractive outdoor gathering space.
- Pedestrian accessways should be incorporated to provide access between parking areas and building entrances. Pedestrian accessways may be coordinated with plaza locations to maximize a pedestrian active zone.
- Pedestrian accessways should incorporate wayfinding signage, lighting and landscaping to provide a safe and attractive walkway between parking and building entrances.

Signage & Lighting

- Recommended building signage shall be mounted parallel or perpendicular to the building facade.
- Per Village zoning codes, protruding signage shall not extend beyond the building facade more than 4'. Best design practices for clearances should be met.
- Maximum lettering height shall be 14".
- Pole mounted signage is prohibited.
- Lighting mounted to the building facade, should be consistent in lumens to that of the traditional lamping that creates the character of the historic district. Uplighting of buildings or trees is generally not appropriate. Temporary decorative lighting, such as festoon lighting, is encouraged to promote pedestrian-friendly night-time uses.
- Internally lit signage is not permitted.



Outdoor plazas should be visually and functionally accessible from the public street



Pedestrian accessways may be coordinated with plaza locations to maximize a pedestrian active zone



Maximum lettering height shall be 14"



Example of perpendicular signage

Perpendicular signage example

Streetscape

- Sidewalk paving materials and patterns should be clear and open to maintain: visibility, access and outdoor seating as appropriate to adjacent uses as well as compatible with the existing broom finished concrete with modest brick paving accents along the back of curb.
- Landscape plantings should be selected for durability to deicing salts and urban environments.
- Landscape plantings should maintain clear visibility between 3' ht and 7' ht as measured above sidewalk grade.

Downtown Streetscape (Scranton Ave)

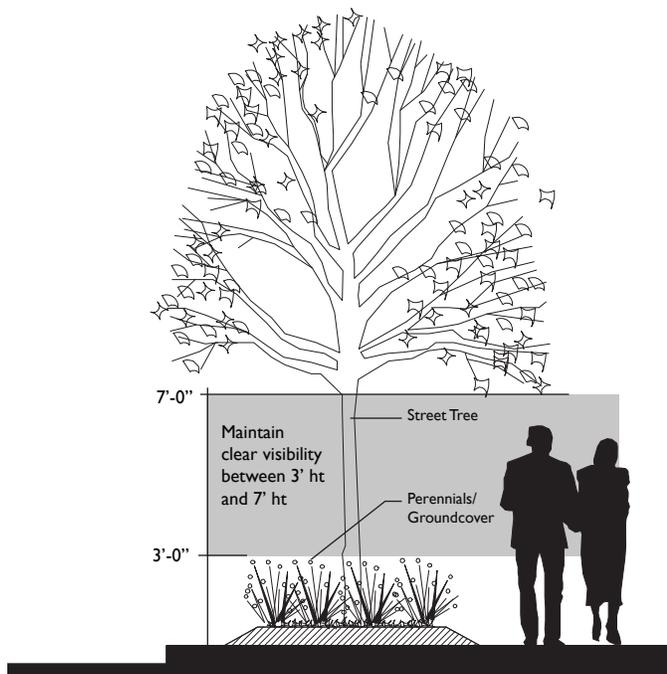
- Sidewalk paving should be primarily broom finished concrete with modest brick paving accents along the back of curb.
- Sidewalk planters should be defined with 6" ht. rolled concrete curbs and landscaped with a mixture of canopy shade trees, flowering perennials and groundcover.
- Tree plantings should be oriented to maintain visibility of building signage.
- Site furnishings should reflect traditional styling and pedestrian comfort, such as seat height planter walls and wood benches.



Example of a rolled concrete curb sidewalk planter



Site furnishings should reflect traditional styling and pedestrian comfort, such as wood benches



Landscape plantings should maintain clear visibility between 3' ht and 7' ht as measured above sidewalk grade



Sidewalk paving should be primarily broom finished concrete with modest brick paving accents along the back of curb

- Bicycle uses are encouraged in the CBD and should be supported via strategically located fixed bike racks and repair stations.
- Outdoor dining plazas should include high quality outdoor furnishings and maintain clear and open views and access. A defined edge between dining plazas and the street is encouraged via planters and/or metal railings.
- Pedestrian accessways and alleys should be defined with traditional streetscape materials, such as ornamental metal railings and archways and/or landscape planters. Decorative lighting, such as festoon lighting, is encouraged to promote pedestrian-friendly night time uses.

Residential Neighborhood Streetscape (North Ave)

- Sidewalks, parkways and street trees should be contiguous.



Example of a bike repair station



Contiguous sidewalks, parkways and street trees in residential neighborhood streetscape



Example of fixed bike racks



Outdoor dining incorporates clear and open views and access along the public sidewalk

APPENDIX: VISUAL PREFERENCE
SURVEY RESULTS



TO: Drew Irvin, Village Administrator, Village of Lake Bluff
Brandon Stanick, Assistant to the Village Administrator, Village of Lake Bluff

FROM: Jodi Mariano, PLA, ASLA, Principal, Teska Associates, Inc.

DATE: September 17, 2015

SUBJECT: Lake Bluff Downtown Visioning – Visual Preference Survey Results

The Downtown Visioning Plan will provide a long-term vision for improvements to the Central Business District (CBD). As a follow up to the Downtown CBD Planning Study prepared by Teska Associates (1998), the Downtown Visioning Program is utilizing tools and outreach methods to build consensus around a community vision for key redevelopment parcels within the downtown area, namely the following two areas:

- Scranton/Oak/North/Walnut (identified in the Village’s Zoning Code as “CBD Block Two”)
- Scranton/Oak/Evanston (identified in the Village’s Zoning Code as “CBD Block Three”)



Downtown Visioning - Study Area Map

Teska conducted the following outreach activities:

- **Project Website.** The *Imagine Lake Bluff* website provided project information and announcements. The website invited the community to upload photos, from April 24 to May 31, for use in the Visual Preference Survey. Relevant photos were utilized in the Visual Preference Survey and June 24th Open House activities. The web address follows: <https://imagineLakeBluff.wordpress.com/>.
 - Website Analytics:
 - Total Number of views: 2,076 (*includes repeat visitors*)
 - Total number of unique visitors: 296
 - Most popular day and hour: Fridays, 5:00 pm
 - Most popular date: June 24, 2015 (*date of the Open House*)
 - Website statistics by month:

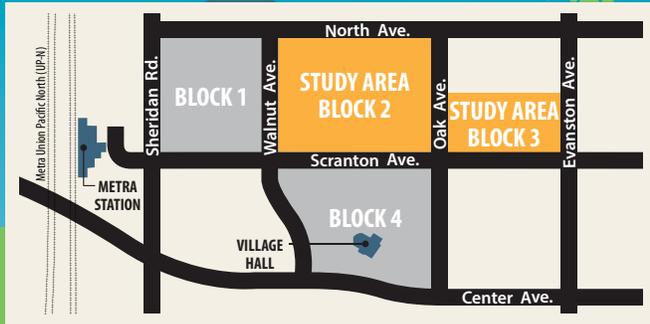
• April	123 views	39 visitors
• May	927 views	97 visitors
• June	609 views	83 visitors
• July	283 views	66 visitors
• August	126 views	08 visitors
• September (to date)	008 views	03 visitors
• TOTAL	2,076 VIEWS	296 VISITORS
- **Visual Preference Survey.** The Visual Preference Survey was issued via Survey Monkey. The purpose of the survey was to obtain community preferences relative to downtown development, including site layouts, building treatments, landscape and streetscape enhancements. The survey was open *June 17 – July 31* and yielded 283 respondents.
- **Open House Visioning Workshop.** The Workshop was attended by a variety of stakeholders, including elected and appointed officials, CBD property owners and merchants as well as members of the community and comprised approximately 40 people. Participants were invited to identify their most and least preferred downtown development treatments via green and red stickers respectively. The Workshop took place at Village Hall on *June 24 at 7pm*. Workshop photos are displayed on the project website.
- **Distribution and communications:** Outreach activities were announced and distributed to the community via the following channels: *Village Website; Posters in Village Hall, Metra station, Library, Lake Bluff History Museum, businesses; Announcement in Village newsletter; Press releases; eblasts to the Village email lists and invitations to the members of the ABR/PCZBA.*

The attached report summarizes the results of the Visual Preference Survey activities. Our next step is to prepare a draft set of design guidelines that apply the community's preferences for CBD treatments as well as best planning and design practices.

★ LAKE BLUFF ★

DOWNTOWN VISIONING

HELP US REFINE OUR LONG RANGE VISION!



The Village is interested in your input to help us prepare for **potential redevelopment.**



SURVEY RESULTS

283 online responses

VISUAL PREFERENCE SURVEY RESULTS

VILLAGE OF LAKE BLUFF: DOWNTOWN SUB-AREA VISIONING

BUILDING ORIENTATION: refers to the placement of buildings on the property relative to the CBD.

5a) How would you rate the placement of these mixed-use examples?

Dislike (1)		Neutral (3)		Like (5)	Average
9	15	62	55	103	3.93
Answered Question		244			
Skipped Question		39			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [24]

NO [0]



Dislike (1)		Neutral (3)		Like (5)	Average
38	39	61	57	40	3.09
Answered Question		235			
Skipped Question		48			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [0]

NO [17]



Dislike (1)		Neutral (3)		Like (5)	Average
67	58	64	26	25	2.52
Answered Question		240			
Skipped Question		43			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [0]

NO [17]



BUILDING ORIENTATION: refers to the placement of buildings on the property relative to the CBD.

5b) How would you rate the placement of these multi-family housing examples?

Dislike (1)		Neutral (3)		Like (5)	Average	
46	19	51	57	65	3.32	
Answered Question		238				
Skipped Question		45				
				COMMUNITY OPEN HOUSE RESPONSES YES [5] NO [0]		

Dislike (1)		Neutral (3)		Like (5)	Average	
70	46	42	39	40	2.72	
Answered Question		237				
Skipped Question		46				
				COMMUNITY OPEN HOUSE RESPONSES YES [11] NO [1]		

Dislike (1)		Neutral (3)		Like (5)	Average	
121	44	38	16	17	2.00	
Answered Question		236				
Skipped Question		47				
				COMMUNITY OPEN HOUSE RESPONSES YES [2] NO [16]		

VISUAL PREFERENCE SURVEY RESULTS

VILLAGE OF LAKE BLUFF: DOWNTOWN SUB-AREA VISIONING

BUILDING ORIENTATION: refers to the placement of buildings on the property relative to the CBD.

5c) How would you rate the placement of these single family housing examples?

Dislike (1)		Neutral (3)		Like (5)	Average
32	10	38	55	100	3.77
Answered Question		235			
Skipped Question		48			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [7]

NO [5]



Dislike (1)		Neutral (3)		Like (5)	Average
27	14	43	67	82	3.70
Answered Question		233			
Skipped Question		50			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [9]

NO [4]



Dislike (1)		Neutral (3)		Like (5)	Average
39	32	40	51	69	3.34
Answered Question		231			
Skipped Question		52			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [12]

NO [6]



BUILDING PROPORTION AND SCALE: refers to the overall size and mass of buildings relative to the CBD.

6a) How would you rate the proportion and scale of these mixed-use examples?

Dislike (1)		Neutral (3)		Like (5)	Average
12	9	45	75	91	3.97
Answered Question		232			
Skipped Question		51			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [19]

NO [1]

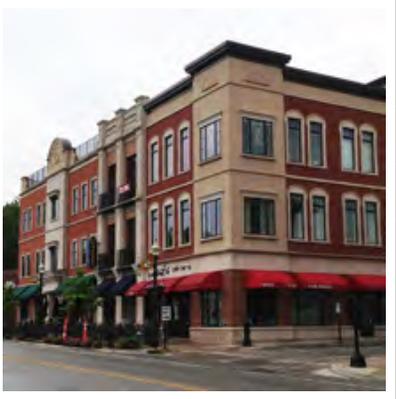


Dislike (1)		Neutral (3)		Like (5)	Average
21	29	48	59	74	3.59
Answered Question		231			
Skipped Question		52			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [14]

NO [2]



Dislike (1)		Neutral (3)		Like (5)	Average
25	31	58	60	58	3.41
Answered Question		232			
Skipped Question		51			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [12]

NO [1]



VISUAL PREFERENCE SURVEY RESULTS

VILLAGE OF LAKE BLUFF: DOWNTOWN SUB-AREA VISIONING

BUILDING PROPORTION AND SCALE: refers to the overall size and mass of buildings relative to the CBD.

6b) How would you rate the proportion and scale of these multi-family housing examples?

Dislike (1)		Neutral (3)		Like (5)	Average	
46	34	44	71	31	3.03	
Answered Question		226	<p style="text-align: center;">COMMUNITY OPEN HOUSE RESPONSES</p> <p style="text-align: right;">YES [7]</p> <p style="text-align: right;">NO [4]</p>			
Skipped Question		57				

Dislike (1)		Neutral (3)		Like (5)	Average	
77	54	54	28	14	2.33	
Answered Question		227	<p style="text-align: center;">COMMUNITY OPEN HOUSE RESPONSES</p> <p style="text-align: right;">YES [9]</p> <p style="text-align: right;">NO [2]</p>			
Skipped Question		56				

Dislike (1)		Neutral (3)		Like (5)	Average	
117	38	35	19	16	2.02	
Answered Question		225	<p style="text-align: center;">COMMUNITY OPEN HOUSE RESPONSES</p> <p style="text-align: right;">YES [0]</p> <p style="text-align: right;">NO [19]</p>			
Skipped Question		58				

BUILDING PROPORTION AND SCALE: refers to the overall size and mass of buildings relative to the CBD.

6c) How would you rate the proportion and scale of these single family examples?

Dislike (1)		Neutral (3)		Like (5)	Average
21	20	47	62	72	3.65
Answered Question		222			
Skipped Question		61			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [9]

NO [7]



Dislike (1)		Neutral (3)		Like (5)	Average
27	25	37	57	79	3.60
Answered Question		225			
Skipped Question		58			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [6]

NO [4]



Dislike (1)		Neutral (3)		Like (5)	Average
150	49	14	5	3	1.47
Answered Question		221			
Skipped Question		62			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [0]

NO [19]



VISUAL PREFERENCE SURVEY RESULTS

VILLAGE OF LAKE BLUFF: DOWNTOWN SUB-AREA VISIONING

BUILDING FACADE TREATMENTS: refers to exterior building face treatments such as storefront windows, entrances, awnings and roof features.

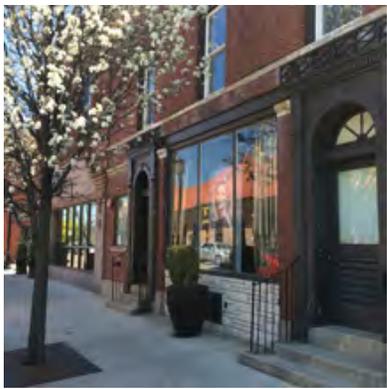
7a) How would you rate the façade of these mixed-use examples?

Dislike (1)		Neutral (3)		Like (5)	Average
10	11	50	61	88	3.94
Answered Question		220			
Skipped Question		63			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [26]

NO [0]



Dislike (1)		Neutral (3)		Like (5)	Average
22	18	33	75	75	3.73
Answered Question		223			
Skipped Question		60			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [14]

NO [0]



Dislike (1)		Neutral (3)		Like (5)	Average
19	25	29	73	76	3.73
Answered Question		222			
Skipped Question		61			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [14]

NO [1]



BUILDING FACADE TREATMENTS: refers to exterior building face treatments such as storefront windows, entrances, awnings and roof features.

7b) How would you rate the facade of these multi-family examples?

Dislike (1)		Neutral (3)		Like (5)	Average
55	53	59	32	23	2.62
Answered Question		222			
Skipped Question		61			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [13]

NO [8]



Dislike (1)		Neutral (3)		Like (5)	Average
85	62	47	20	8	2.12
Answered Question		222			
Skipped Question		61			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [1]

NO [10]



Dislike (1)		Neutral (3)		Like (5)	Average
176	30	10	4	3	1.33
Answered Question		223			
Skipped Question		60			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [0]

NO [22]



VISUAL PREFERENCE SURVEY RESULTS

VILLAGE OF LAKE BLUFF: DOWNTOWN SUB-AREA VISIONING

BUILDING FACADE TREATMENTS: refers to exterior building face treatments such as storefront windows, entrances, awnings and roof features.

7c) How would you rate the facade of these single family examples?

Dislike (1)		Neutral (3)		Like (5)	Average
24	7	36	69	82	3.82
Answered Question		218			
Skipped Question		65			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [12]

NO [3]



Dislike (1)		Neutral (3)		Like (5)	Average
27	8	43	62	77	3.71
Answered Question		217			
Skipped Question		66			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [8]

NO [5]



Dislike (1)		Neutral (3)		Like (5)	Average
153	30	19	12	6	1.58
Answered Question		220			
Skipped Question		63			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [0]

NO [21]



SIGNAGE: refers to sign treatments such as building mounted and free standing signs.

8a) How would you rate these commercial business signs?

Dislike (1)		Neutral (3)		Like (5)	Average
10	14	49	85	62	3.80
Answered Question		220			
Skipped Question		63			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [18]

NO [2]



Dislike (1)		Neutral (3)		Like (5)	Average
47	24	49	57	43	3.11
Answered Question		220			
Skipped Question		63			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [17]

NO [2]



Dislike (1)		Neutral (3)		Like (5)	Average
54	49	51	38	28	2.71
Answered Question		220			
Skipped Question		63			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [5]

NO [5]



VISUAL PREFERENCE SURVEY RESULTS

VILLAGE OF LAKE BLUFF: DOWNTOWN SUB-AREA VISIONING

SIGNAGE: refers to sign treatments such as building mounted and free standing signs.
 8b) How would you rate these community wayfinding signs?

Dislike (1)		Neutral (3)		Like (5)	Average
42	33	59	34	53	3.10
Answered Question		221		COMMUNITY OPEN HOUSE RESPONSES YES [11] NO [7]	
Skipped Question		62			



Dislike (1)		Neutral (3)		Like (5)	Average
54	31	52	48	36	2.91
Answered Question		221		COMMUNITY OPEN HOUSE RESPONSES YES [10] NO [5]	
Skipped Question		62			



Dislike (1)		Neutral (3)		Like (5)	Average
59	43	56	39	24	2.67
Answered Question		221		COMMUNITY OPEN HOUSE RESPONSES YES [0] NO [15]	
Skipped Question		62			



SIGNAGE: refers to sign treatments such as building mounted and free standing signs.

8c) How would you rate these banner signs?

Dislike (1)		Neutral (3)		Like (5)	Average	
27	31	41	65	56	3.42	
Answered Question		220				
Skipped Question		63				
						<p>COMMUNITY OPEN HOUSE RESPONSES</p> <p>YES [16]</p> <p>NO [1]</p>

Dislike (1)		Neutral (3)		Like (5)	Average	
38	17	58	48	59	3.33	
Answered Question		220				
Skipped Question		63				
						<p>COMMUNITY OPEN HOUSE RESPONSES</p> <p>YES [0]</p> <p>NO [14]</p>

Dislike (1)		Neutral (3)		Like (5)	Average	
73	48	57	24	17	2.38	
Answered Question		219				
Skipped Question		64				
						<p>COMMUNITY OPEN HOUSE RESPONSES</p> <p>YES [16]</p> <p>NO [2]</p>

VISUAL PREFERENCE SURVEY RESULTS

VILLAGE OF LAKE BLUFF: DOWNTOWN SUB-AREA VISIONING

PARKING AREA TREATMENTS: refers to parking areas that serve the CBD.

9a) How would you rate these parking area treatments?

Dislike (1)		Neutral (3)		Like (5)	Average
18	12	32	74	82	3.87
Answered Question		218			
Skipped Question		65			

COMMUNITY OPEN HOUSE RESPONSES

YES [11]

NO [1]



Dislike (1)		Neutral (3)		Like (5)	Average
17	16	56	53	78	3.72
Answered Question		220			
Skipped Question		63			

COMMUNITY OPEN HOUSE RESPONSES

YES [12]

NO [2]



Dislike (1)		Neutral (3)		Like (5)	Average
19	18	53	55	71	3.65
Answered Question		216			
Skipped Question		67			

COMMUNITY OPEN HOUSE RESPONSES

YES [14]

NO [0]



Dislike (1)		Neutral (3)		Like (5)	Average
22	29	104	33	32	3.11
Answered Question		220			
Skipped Question		63			

COMMUNITY OPEN HOUSE RESPONSES

YES [0]

NO [16]



PARKING AREA TREATMENTS: refers to parking areas that serve the CBD.

9b) How would you rate these parking area treatments?

Dislike (1)		Neutral (3)		Like (5)	Average
16	19	45	59	74	3.73
Answered Question		213			
Skipped Question		70			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [5]

NO [1]



Dislike (1)		Neutral (3)		Like (5)	Average
19	18	56	52	67	3.61
Answered Question		212			
Skipped Question		71			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [9]

NO [2]



Dislike (1)		Neutral (3)		Like (5)	Average
16	21	62	70	44	3.49
Answered Question		213			
Skipped Question		70			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [0]

NO [2]



Dislike (1)		Neutral (3)		Like (5)	Average
49	48	52	31	30	2.74
Answered Question		210			
Skipped Question		73			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [5]

NO [3]



VISUAL PREFERENCE SURVEY RESULTS

VILLAGE OF LAKE BLUFF: DOWNTOWN SUB-AREA VISIONING

PARKING AREA TREATMENTS: refers to parking areas that serve the CBD.

9b) How would you rate these parking area treatments (continued)?

Dislike (1)		Neutral (3)		Like (5)	Average
2	2	20	61	125	4.45
Answered Question		210			
Skipped Question		73			

COMMUNITY OPEN HOUSE RESPONSES

YES [11]

NO [0]



Dislike (1)		Neutral (3)		Like (5)	Average
4	6	39	68	94	4.15
Answered Question		211			
Skipped Question		72			

COMMUNITY OPEN HOUSE RESPONSES

YES [11]

NO [1]



Dislike (1)		Neutral (3)		Like (5)	Average
72	34	59	19	29	2.53
Answered Question		213			
Skipped Question		70			

COMMUNITY OPEN HOUSE RESPONSES

YES [12]

NO [2]



Dislike (1)		Neutral (3)		Like (5)	Average
133	39	35	3	2	1.59
Answered Question		212			
Skipped Question		71			

COMMUNITY OPEN HOUSE RESPONSES

YES [17]

NO [0]



STREETSCAPE TREATMENTS: refers to roadway and sidewalk treatments such as bike amenities, paving, plantings and site furnishings.

10a) How would you rate these biking amenities?

Dislike (1)		Neutral (3)		Like (5)	Average
26	13	54	55	60	3.53
Answered Question		208			
Skipped Question		75			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [10]

NO [3]



Dislike (1)		Neutral (3)		Like (5)	Average
47	22	57	43	42	3.05
Answered Question		211			
Skipped Question		72			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [8]

NO [6]



Dislike (1)		Neutral (3)		Like (5)	Average
40	33	67	36	32	2.94
Answered Question		208			
Skipped Question		75			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [4]

NO [11]



VISUAL PREFERENCE SURVEY RESULTS

VILLAGE OF LAKE BLUFF: DOWNTOWN SUB-AREA VISIONING

STREETSCAPE TREATMENTS: refers to roadway and sidewalk treatments such as bike amenities, paving, plantings and site furnishings.

10b) How would you rate these sidewalk paving treatments?

Dislike (1)		Neutral (3)		Like (5)	Average
7	11	72	59	59	3.73
Answered Question		208			
Skipped Question		75			

COMMUNITY OPEN HOUSE RESPONSES

YES [17]

NO [0]



Dislike (1)		Neutral (3)		Like (5)	Average
21	16	56	65	50	3.51
Answered Question		208			
Skipped Question		75			

COMMUNITY OPEN HOUSE RESPONSES

YES [8]

NO [0]



Dislike (1)		Neutral (3)		Like (5)	Average
64	50	72	15	7	2.28
Answered Question		208			
Skipped Question		75			

COMMUNITY OPEN HOUSE RESPONSES

YES [11]

NO [0]



STREETSCAPE TREATMENTS: refers to roadway and sidewalk treatments such as bike amenities, paving, plantings and site furnishings.

10c| How would you rate these parkway treatments?

Dislike (1)		Neutral (3)		Like (5)	Average
9	5	28	76	89	4.12
Answered Question		207			
Skipped Question		76			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [14]

NO [1]

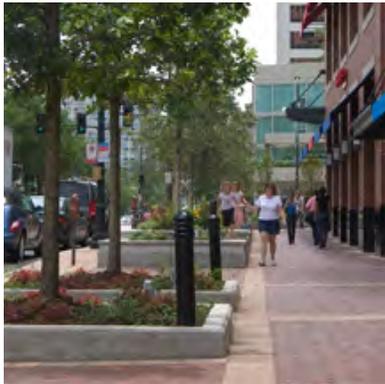


Dislike (1)		Neutral (3)		Like (5)	Average
38	25	51	47	46	3.18
Answered Question		207			
Skipped Question		76			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [2]

NO [2]



Dislike (1)		Neutral (3)		Like (5)	Average
27	40	88	37	18	2.90
Answered Question		210			
Skipped Question		73			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [4]

NO [0]



VISUAL PREFERENCE SURVEY RESULTS

VILLAGE OF LAKE BLUFF: DOWNTOWN SUB-AREA VISIONING

STREETSCAPE TREATMENTS: refers to roadway and sidewalk treatments such as bike amenities, paving, plantings and site furnishings.

10d| How would you rate these site furnishings?

Dislike (1)		Neutral (3)		Like (5)	Average
9	13	24	61	101	4.12
Answered Question		208			
Skipped Question		75			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [14]

NO [2]



Dislike (1)		Neutral (3)		Like (5)	Average
9	12	37	76	75	3.94
Answered Question		209			
Skipped Question		74			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [1]

NO [4]



Dislike (1)		Neutral (3)		Like (5)	Average
91	44	34	27	12	2.16
Answered Question		208			
Skipped Question		75			

**COMMUNITY
OPEN HOUSE
RESPONSES**

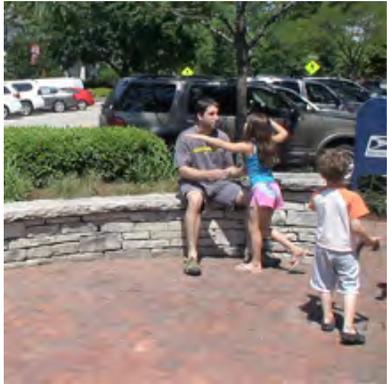
YES [14]

NO [1]



PARKS AND PLAZA TREATMENTS: refers to outdoor gathering spaces and event spaces.

11a) How would you rate these outdoor seating areas?

Dislike (1)		Neutral (3)		Like (5)	Average	
5	5	20	70	108	4.30	
Answered Question		208		COMMUNITY OPEN HOUSE RESPONSES YES [8] NO [2]		
Skipped Question		75				

Dislike (1)		Neutral (3)		Like (5)	Average	
18	9	39	67	74	3.82	
Answered Question		207		COMMUNITY OPEN HOUSE RESPONSES YES [12] NO [4]		
Skipped Question		76				

VISUAL PREFERENCE SURVEY RESULTS

VILLAGE OF LAKE BLUFF: DOWNTOWN SUB-AREA VISIONING

PARKS AND PLAZA TREATMENTS: refers to outdoor gathering spaces and event spaces.

11b) How would you rate these outdoor dining plazas?

Dislike (1)		Neutral (3)		Like (5)	Average	
9	6	19	33	140	4.40	
Answered Question		207				
Skipped Question		76				
COMMUNITY OPEN HOUSE RESPONSES				YES [12] NO [0]		

Dislike (1)		Neutral (3)		Like (5)	Average	
12	9	26	52	107	4.13	
Answered Question		206				
Skipped Question		77				
COMMUNITY OPEN HOUSE RESPONSES				YES [23] NO [1]		

PARKS AND PLAZA TREATMENTS: refers to outdoor gathering spaces and event spaces.
 11c| How would you rate these event spaces?

Dislike (1)		Neutral (3)		Like (5)	Average
12	4	25	40	127	4.28
Answered Question		208			
Skipped Question		75			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [6]

NO [4]



Dislike (1)		Neutral (3)		Like (5)	Average
0	1	2	21	183	4.28
Answered Question		207			
Skipped Question		76			

**COMMUNITY
OPEN HOUSE
RESPONSES**

YES [6]

NO [2]



VISUAL PREFERENCE SURVEY RESULTS

VILLAGE OF LAKE BLUFF: DOWNTOWN SUB-AREA VISIONING

PARKS AND PLAZA TREATMENTS: refers to outdoor gathering spaces and event spaces.

11d| How would you rate these alley spaces?

Dislike (1)		Neutral (3)		Like (5)	Average
8	12	37	35	116	4.15
Answered Question		208			
Skipped Question		75			
				COMMUNITY OPEN HOUSE RESPONSES	YES [22] NO [1]



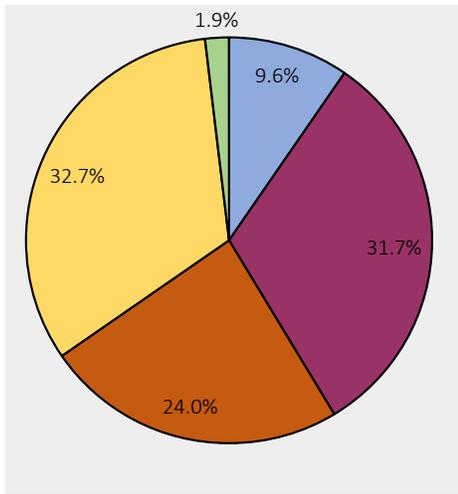
Dislike (1)		Neutral (3)		Like (5)	Average
36	18	37	39	77	3.50
Answered Question		207			
Skipped Question		76			
				PUBLIC WORKSHOP RESPONSES	YES [3] NO [18]



Dislike (1)		Neutral (3)		Like (5)	Average
39	19	39	40	69	3.39
Answered Question		206			
Skipped Question		77			
				PUBLIC WORKSHOP RESPONSES	YES [2] NO [10]

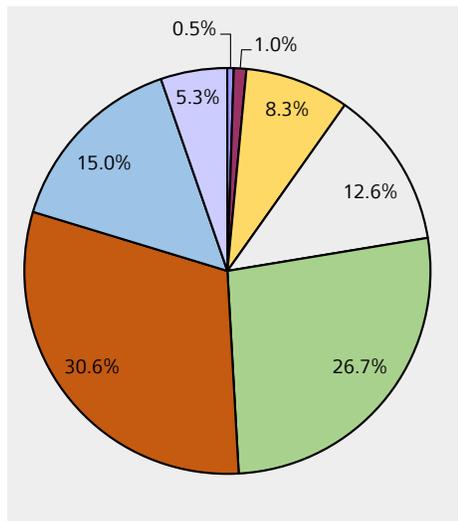


12 | Choose the answer that best describes your household.



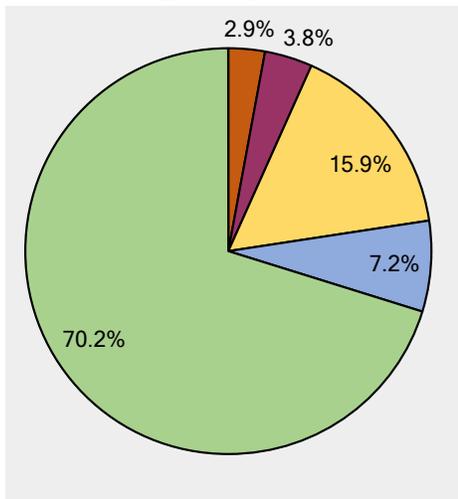
	I live alone
	We are the type of two-person family commonly called "Empty Nester"
	We are a household composed of two or more adults.
	We are a family with pre-school or school-age children living in the home
	Other

13 | Please choose the category that matches your age.



	Under 20
	20 to 24
	25 to 34
	35 to 44
	45 to 54
	55 to 64
	65 to 74
	75 or older

14 | How long have you lived in Lake Bluff?



	I do not live in Lake Bluff
	Less than 1 year
	1 to 5 years
	5 to 10 years
	10 or more years



**VILLAGE OF LAKE BLUFF
JOINT PLAN COMMISSION AND ZONING BOARD OF APPEALS AND
ARCHITECTURAL BOARD OF REVIEW
SPECIAL WORKSHOP MEETING
JANUARY 20, 2016**

APPROVED MINUTES OF MEETING

1. Call to Order and Roll Call

The Village of Lake Bluff Joint Plan Commission and Zoning Board of Appeals (PCZBA) and Architectural Board of Review (ABR) met at a Special Workshop Meeting in the Village Hall Board Room (40 E. Center Avenue) on Wednesday, January 20, 2016. The Meeting was called to order at 7:00 p.m. and it was determined the following PCZBA and ABR Members were present:

PCZBA Members: Sam Badger
Leslie Bishop
Mary Collins
Michael Goldsberry
Elliot Miller
Gary Peters
Steven Kraus, Chair

ABR Members: Neil Dahlmann
Edward Deegan
Matt Kerouac
Carol Russ
John Sorenson
Robert Hunter, Chair

Absent: Stephen Rappin, ABR Member

Also Present: Drew Irvin, Village Administrator
Michael Croak, Building Codes Supervisor
Brandon Stanick, Assistant to the Village Administrator

2. Non-Agenda Items and Visitors (Public Comment Time)

ABR Chair Hunter stated the PCZBA and ABR allocate fifteen minutes during this item for those individuals who would like the opportunity to address the Boards on any matter not listed on the agenda.

There were no requests to address the Boards.

3. Continuation of a Joint Workshop with the Plan Commission and Zoning Board of Appeals and the Architectural Board of Review to Receive a Presentation and Finalize the Draft Architectural and Streetscape Design Guidelines for Central Business District Block Two and Block Three as Part of the Downtown Subarea Visioning Project

PCZBA Chair Kraus introduced the agenda item and reviewed the protocol for the meeting.

Village Administrator Irvin thanked the respective Advisory Board Members for attending and introduced Ms. Jodi Mariano, Principal Landscape Architect, Teska Associates, Inc.

Ms. Mariano provided background information regarding the Downtown Visioning Project which solicited the community's vision for the potential redevelopment of Central Business District Block Two and Block Three. The purpose of this meeting is to discuss and finalize the draft Downtown Guidelines and Planning Principles.

Village Administrator Irvin reviewed the past planning efforts related to the 1998 Lake Bluff CBD Planning Study and the 2016 Lake Bluff Strategic Plan. The 1998 CBD Planning Study consisted of Blocks One and Four and did not address Blocks Two and Three. The study emphasized developing the CBD as a resident service center critical to maintaining the character and identity of the Village. Village Administrator Irvin reviewed the mission/purpose of the 2016 Lake Bluff Strategic Plan and noted community dialogue resulted in the visionary statement regarding the community, housing stock diversity and strong property values serve residents at all stages of life.

Ms. Mariano stated design guidelines are a tool used to communicate the community's vision to perspective developers. Ms. Mariano showed a slide with the ten proposed planning principles.

PCZBA Chair Kraus reviewed the process for the meeting and stated the objective tonight is to review the draft guidelines and ultimately submit a recommendation to the Village Board for consideration.

In response to a question from PCZBA Member Goldsberry, PCZBA Chair Kraus stated the Boards anticipate the land use, planning principles and design standards that are part of this conversation will be applied to any proposed development in Block Two or Block Three.

A discussion concerning the following ten Planning Principles ensued:

1. Where Block Two abuts Scranton Avenue, ground floor commercial uses, compatible with the CBD, should promote the pedestrian-oriented main street environment of Scranton Avenue;
2. Where Block Two abuts North Avenue, residential uses with appropriate setbacks should be respectful to the surrounding neighborhood;
3. Block Three should be treated as an urban residential transition between the CBD to the west and neighborhoods to the east;
4. Blocks Two and Three should make use of internal alleyways for service and loading with vehicular access from Oak Avenue and/or Walnut Avenue;
5. Off-street parking storage should be provided within building structures and behind building developments so as to be screened from public view;
6. On-street parking storage should include parallel parking along Scranton Avenue. Diagonal parking may be considered along Walnut Avenue and Oak Avenue;
7. Streetscape treatments along Scranton Avenue and southern portions of the Walnut and Oak Avenues should be treated as extensions of the CBD streetscape, including wide sidewalks, traditional light poles, in ground tree planters and site furnishings as appropriate;
8. Streetscape treatments along North Avenue streetscape should be treated as an extension of the neighborhood street, including continuous sidewalks, lawn parkway and canopy tree plantings;
9. Mature stands of trees and open spaces should be preserved; and
10. Public gathering spaces, plaza spaces and pedestrian ways are encouraged to provide logical linkages between the development entrances, parking areas and surround CBD destinations.

PCZBA Chair Kraus opened the floor for public comments.

Ms. Robin McAfee stated a few residents along North Avenue have expressed concern regarding higher density in Blocks Two and Three and its impact on traffic in the neighborhood.

Ms. Marina Puryear expressed her agreement with Ms. McAfee's comments and suggested parkways be properly landscaped. She noted her experience living next to public ways and suggested the Village be sensitive to having more public space linkages in neighborhoods given the amount of trash that accumulates on private property and the pedestrian traffic that can be generated. Ms. Puryear expressed her concern for the limited amount of parking in downtown and stated more density without adequate onsite parking will not help the parking situation. Additionally, she expressed concern for parkway trees if a greater height is allowed.

Mr. Thomas McAfee stated the Village has changed a lot and noted the days of maintaining a local business is impossible. He expressed his opinion the Village should be cautious to base these concepts off of the 1997 Comprehensive Plan and encouraged the group to be more open minded. Mr. McAfee described the neighborhood as it appears to date and noted he is open to diversifying housing stock but not to a high rise building. He stated his major concern is density, building height and stated respecting the current density is important to the neighborhood.

Ms. Holli Volkert stated she lives near the perimeter of the CBD and does not want to look at a parking lot full of cars. Also, Oak Avenue is not wide enough to allow diagonal parking and she would like to hear more discussion regarding parallel versus diagonal parking. She expressed her preference parking stay behind buildings, but not necessarily hidden, and asked that they consider hidden parking as opposed to an open parking lot. She also expressed her preference to have open space at the corner of Oak and North Avenues where there are more single-family homes. Ms. Volkert further expressed her preference for a sidewalk along Oak Avenue.

Mr. Scott Bermingham asked the Village not to limit the development of Block Three strictly to residential because he likes the idea of a "transitional" development which could have commercial uses. In response to a question from Mr. Bermingham, Village Administrator Irvin stated there are different parking requirements for residential and commercial uses.

Ms. Susan McMurray asked for clarification regarding previous comments about parking on E. Scranton Avenue. Ms. Mariano stated there is no intent to change the existing parking configuration on E. Scranton Avenue.

Mr. Mark Stolzenburg expressed his appreciation for the discussion regarding setbacks along North Avenue being respectful of the scale of the existing neighborhood. He expressed his opinion allowing a three-story building in this area would be out of scale.

Mr. Kyle Petersen stated the Village has done a great job creating a framework for the Village and noted his concern for its future character. He expressed his agreement with Mr. Stolzenburg regarding the lots along North Avenue and expressed his preference residential uses with setbacks be consistent with the scale, character and density of the surrounding neighborhood. Mr. Peterson commented on the density and suggested that the Members further define scale.

Ms. Julie Morris stated she would like the language in the planning principles strengthened to protect the

Village. She also expressed her preference for having traffic studies completed for any proposed development. She expressed her concern regarding parking, density and the economics of commercial retail in the downtown.

Mr. Petersen expressed his agreement with Ms. Morris and stated he would like more language addressing density.

Mr. Bermingham inquired of the process that would enable the Village to reinforce the planning principles. He asked that the existing ordinances be reviewed to ensure they are consistent with the planning principles.

PCZBA Member Collins stated she would expect the Village to go back and review the zoning in the CBD to ensure its compatibility with the planning principals and design guidelines.

PCZBA Member Miller expressed his preference, in response to the concerns of those in attendance, that character, scale and zoning be consistent with the surrounding neighborhood.

PCZBA Chair Kraus led a discussion concerning CBD Block Three. He stated the Village can manage development using the existing zoning regulations or address development like it has in the past as a planned development where there is greater flexibility while maintaining the existing underlying zoning. He stated this is one reason having a concept for the entire blocks is important. PCZBA Chair Kraus stated changing underlined zoning is something that could happen but a development in the concept of a planned development is something that would give more control to the Village.

Ms. McAfee expressed her understanding from tonight's discussion the Boards are okay with changing or allowing more density than what is currently allowed in these areas.

PCZBA Member Goldsberry expressed his preference that existing density be maintained in the area.

PCZBA Member Peters stated it is too premature to focus on specific zoning standards and he questioned whether the north side of Block Two would be best fit for single-family homes, as the value of the land is too great to end up with single-family units, which may necessitate an increase in density.

PCZBA Member Badger also expressed his preference for two-story development more than three-story development and having a transition at the corner similar to the oak grove at Walnut and E. North Avenue.

ABR Member Sorenson stated single-family homes along the north side of North Avenue does make sense.

PCZBA Member Bishop expressed her agreement with the comments that redevelopment might not just be single-family, but it can be appropriately designed and work with the north side of North Avenue to make it acceptable to the community as a whole.

PCZBA Member Collins confirmed the existing zoning allows for multi-family residential along CBD Block Two. She suggested the PCZBA discuss which building typology (multi-family, attached and detached single-family, mixed-use), presented in the Design Guidelines, would be appropriate in CBD Blocks Two and Three.

ABR Member Dahlmann stated he is concerned with the way density is being interpreted. The floor area is more important than density and it should be up to the developer to decide how to design the project.

ABR Member Kerouac stated the ABR role is to design better buildings and the Village will do something to create a development that is in character with Lake Bluff. He stated it is a matter of changing the massing and the idea of density is important because it does impact parking. He stated there is a balance between economics and doing something of which the Village can be proud.

A resident stated the R-5 Zoning District needs to be clarified because it is unclear as to what it means other than multi-family. Comments about density and units are also important topics to clarify.

Ms. Morris stated the historic aspect of the Village should be integrated into the planning principles and expressed her concern that density, traffic, parking and economic aspects are not a part of the planning principles.

Ms. Puryear expressed her agreement with Ms. Morris that there needs to be more teeth in the planning principles.

Mr. McAfee stated there seems to be a desire for higher density and he questioned why not single-family homes.

Ms. Puryear expressed her belief a three story building on North Avenue in Block Two is not consistent with the existing neighborhood.

Ms. Mariano reviewed the photographs of the transitional housing examples provided in the Downtown Subarea Visioning Project (CBD Blocks Two and Three) presentation.

In response to a concern expressed by a member of the public, PCZBA Chair Kraus stated planning these blocks as whole developments does not mean they should look the same. North Avenue and Scranton Avenue streetscapes are two things that need to be handled differently because they are reacting to different needs of the community.

ABR Chair Hunter stated one of the dangers of establishing design guidelines is they become very prescriptive and we want to avoid being too prescriptive. The design guidelines are presented to developers to help in designing their proposal.

PCZBA Member Goldsberry stated the Lake Bluff brand should be incorporated into this process because it would be good to define "Lake Bluff Style".

PCZBA Chair Kraus suggested a future workshop to continue review of the Design Guidelines and Planning Principles. He asked that any comments be submitted to Staff.

Village Administrator Irvin stated the developer of the PNC property is eager to move forward and has requested a workshop with the ABR/PCZBA to discuss the conceptual phase of the project.

Ms. Morris inquired of the development review process, Village Administrator Irvin stated the Village Code outlines the review process and allows a developer to request a pre-submittal workshop with the

Boards.

Mr. Peterson stated the ABR and PCZBA did not address density at this workshop as was requested by those in attendance. He expressed his understanding this is a workshop, but would have liked the group to acknowledge the concern for density.

PCZBA Chair Kraus stated that was certainly not the intention of the Boards and he encouraged everyone to review the Design Guidelines and continue to attend the next workshop meetings.

Ms. Mariano stated the Design Guidelines is a document exclusive of zoning. The Village's Zoning regulations must still be followed; however, the Design Guidelines are used to communicate principles regarding the quality and appearance of proposed construction. The Design Guidelines do not alter the existing zoning requirements.

It was the consensus of the Boards to schedule a future workshop meeting.

4. Adjournment of the Meeting

As there was no further business, the meeting adjourned at 9:34 p.m.

Respectfully submitted,



Brandon J. Stanick
Assistant to the Village Administrator



Michael Croak
Building Codes Supervisor

COMMENTS SUBMITTED TO DATE February 5, 2016

Member Comments:

- Consider reflecting desire to increase housing stock diversity in other Village planning documents (Comprehensive Plan);
- In regards to the Planning Principles listed in the Design Guidelines, consider deleting the word "storage" after parking (Principle Numbers 5 and 6). Might "Parking" be considered sufficient?
- Consider using only photos of designs that are unanimously liked.

Comments submitted by Resident:

- Number 2 - setbacks should be scaled to the surrounding neighborhood.
- Number 5 - Can we ask that parking storage be hidden via garages? I find the lot behind the south side of Scranton to be an eyesore of cars when I'm on Scranton Alley or walking to Village Hall or the park. In addition it is difficult to control heavy snow as plowing at night with cars in a lot is difficult.
- Number 6 - I think we should be cautious of diagonal parking adjacent to single family homes. Diagonal parking along Oak would be the primary view from the front yards of 5-6 homes along North Ave. Walnut is a little more accommodating to this parking as it has a parking lot and businesses adjacent to it.
- Number 8 - If removing the word lawn, can we consider keeping the word soft scape to clarify the vision along North?
- Consider harvesting and sharing more images for our visioning plans. As a board member of the History Museum there has been much discussion to create a Historical District including and adjacent to the CBD. I think we can do better to find appropriate architecture to use in discussions with developers that offer smaller housing options, be financially viable for the developer and integrate better with the historic buildings along Scranton as well as the 100+ year old homes along North Ave. I believe we can find a wonderful solution through this process and perhaps create a Historical District that we can be proud of, ties into the existing historical buildings and actually looks "historic".

Brandon Stanick

From: Mark Stolzenburg <markstolzenburg@gmail.com>
Sent: Tuesday, April 19, 2016 5:13 PM
To: Drew Irvin
Cc: Volkert, Christopher; mcarney@gglrealty.com; Mo Chamberlain; Grant Chamberlain; Robin McAfee; Tom McAfee; Holli Volkert; Julie Stevenson; McAfee, Thomas (tmcafee@nm.org); Kyle Peterson; gretchenseymour@me.com; Jim Seymour (jseymour@euclidexec.com); Brandon Stanick; Jodi Mariano; Michael Croak; Carol Mark; Jeanosta; Christina Peterson; Greg & Joanne Junkin; Greg & Joanne Junkin; Nicole Stolzenburg; Lee Nysted; kevin@kevinconsidine.com
Subject: Re: Lake Bluff Joint PCZBA Meeting
Attachments: Lake Bluff - North Ave residents revisions to CBD planning principles.pdf

Drew: To our knowledge, the ten planning principles were not finalized. Brandon Stanick's April 15 memo incorrectly states that a consensus was reached with regard to those principles. But his assertion ignores that, on February 7, 2016, we submitted additional revisions to you via email that apparently have not been considered or otherwise addressed by any board or official of the Village government. The prior discussion at the January 20 meeting was hurried and incomplete, and it was our understanding that the ten planning principles were supposed to be the topic of further discussion at the February 9, 2016 workshop. However, the presentation and public comment period about the proposed PNC Bank site redevelopment project lasted until approximately 9:30 p.m. and the next agenda item was not addressed at that meeting, or to our knowledge, any subsequent public meeting. Because our proposed revisions seem to have been lost in the shuffle, I have attached another copy. If our proposed revisions were rejected, please provide the meeting minutes reflecting that.

Thank you for keeping us in the loop, although it would have been preferable to have more than 24 hours' notice about a meeting that profoundly affects a number of taxpaying residents.

Mark

On Apr 19, 2016, at 4:20 PM, Drew Irvin <dirvin@lakebluff.org> wrote:

Good afternoon, all:

FYI – the Lake Bluff Joint Plan Commission & Zoning Board of Appeals will be meeting tomorrow night to, among other things, have a discussion concerning the Comprehensive Land Use Plan and Zoning

Regulations for Central Business District Block Two and Block Three. The packet can be found at the link below.

<http://www.lakebluff.org/government/meeting-packets-and-videos?format=raw&task=download&fid=982>

Please let me know if you have any questions.

REVISED PLANNING PRINCIPLES

Purpose of the Planning Principles

The Village of Lake Bluff has promulgated the planning principles set forth below to guide developers with regard to acceptable forms of development of Blocks Two and Three of the Central Business District. Lake Bluff seeks responsible development that is consistent with and respects the character of the community, a small, family-oriented village, as well as the preexisting single-family homes that surround the areas of proposed development.

Principles

1. Where Block 2 abuts Scranton Ave., ground floor commercial uses, compatible with the CBD, should promote the pedestrian-oriented main street environment of Scranton Ave.
2. Where Block 2 abuts North Ave., any development must be low-density residential uses. Such development must be of a similar size and density to the presently existing structures, must not require a special use permit or any change in zoning, must have with appropriate setbacks, and ~~should~~ must be in character with and scaled to the surrounding neighborhoods of single-family homes.
3. Block 3 should be treated as a residential transition between the CBD to the west and scaled to the surrounding neighborhoods of single-family homes.
4. Blocks 2 and 3 should make use of internal alleyways for service and loading with vehicular access from Oak Ave. and/or Walnut Ave., and any development on blocks 2 and 3 must minimize traffic on North Ave. and Evanston Ave., residential streets with predominately single-family homes and a significant number of children.
5. Off street parking storage should be provided within building structures and behind building developments so as to be screened from public view.
6. On-street parking storage should include parallel parking along Scranton Ave. Diagonal parking may be considered along Walnut Ave and Oak Ave.
7. There should be continuity of CBD streetscape treatments along Scranton Ave. and southern portions of Walnut and Oak Avenues, including wide sidewalks, traditional light poles, in ground tree planters, and site furnishings as appropriate.
8. Streetscape treatments along the North Ave. and Evanston Ave. streetscapes should be treated as an extension of the neighborhood street which is predominately single-family homes, including continuous sidewalks, grass and/or landscaped parkways, and canopy tree plantings. Existing trees and other foliage must be retained.
9. Mature stands of trees and open spaces should ~~must~~ be preserved.
10. Public gathering spaces are encouraged as are pedestrian ways that provide linkages between the development entrances, parking areas and surrounding CBD destinations.