

**VILLAGE OF LAKE BLUFF
BOARD OF TRUSTEES
REGULAR MEETING**

Monday, November 23, 2015

7:00 P.M.

40 East Center Avenue
Village Hall Board Room

A G E N D A

1. CALL TO ORDER AND ROLL CALL
2. PLEDGE OF ALLEGIANCE
3. CONSIDERATION OF THE MINUTES OF THE NOVEMBER 9, 2015 VILLAGE BOARD MEETING
4. NON-AGENDA ITEMS AND VISITORS

The Village President and Board of Trustees allocate fifteen (15) minutes during this item for those individuals who would like the opportunity to address the Village Board of Trustees on any matter not listed on the agenda. Each person addressing the Village Board of Trustees is asked to limit their comments to a maximum of five (5) minutes.

5. VILLAGE BOARD SETS THE ORDER OF THE MEETING

The Village President and Board of Trustees will entertain requests from anyone present on the order of business to be conducted during the Village Board Meeting.

6. VILLAGE FINANCE REPORT

a) Warrant Report for November 16-30, 2015

7. VILLAGE ADMINISTRATOR'S REPORT

a) Request from Lake Bluff School District 65 to Waive Development Fees for Planned Renovations of Lake Bluff Middle School located at 31 East Sheridan Place

8. VILLAGE ATTORNEY'S REPORT

9. VILLAGE PRESIDENT'S REPORT

CONSENT AGENDA

10. ACCEPTANCE OF THE CORRESPONDENCE

Please note all correspondence was delivered to the Village Board of Trustees in the Informational Reports on November 6 and 13, 2015.

11. SECOND READING OF AN ORDINANCE AMENDING ORDINANCES 98-25, 2004-10 AND 2010-27 CONCERNING THE EXISTING SPECIAL USE PERMIT FOR THE PERSONAL WIRELESS FACILITY AT THE PUBLIC SAFETY BUILDING (45 E. CENTER AVENUE)

12. AN ORDINANCE ADOPTING BY REFERENCE THE LAKE COUNTY WATERSHED DEVELOPMENT ORDINANCE

OTHER BUSINESS

13. A PUBLIC HEARING REGARDING YEAR 2015 PROPERTY TAX LEVY

14. AN ORDINANCE LEVYING PROPERTY TAXES FOR THE FISCAL YEAR BEGINNING MAY 1, 2015 AND ENDING APRIL 30, 2016 FOR THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS

15. AN ORDINANCE ABATING 2015 PROPERTY TAXES LEVIED FOR GENERAL OBLIGATION DEBT SERIES 2011 AND 2012 BONDS OF THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS

16. AN ORDINANCE AMENDING AN EXISTING SPECIAL USE PERMIT (Ordinance 2008-07) AND A VARIATION FROM THE VILLAGE'S GROSS FLOOR AREA REQUIREMENTS TO ALLOW FOR THE CONSTRUCTION OF RENOVATIONS TO AN EXISTING MIDDLE SCHOOL (31 E. Sheridan Place)

17. AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO LAKE EFFECT HOLDINGS, LLC TO OPERATE A PHYSICAL FITNESS FACILITY AT 14 EAST SCRANTON AVENUE

18. AN ORDINANCE AMENDING CERTAIN PROVISIONS OF TITLE III OF THE VILLAGE OF THE LAKE BLUFF MUNICIPAL CODE REGARDING LIQUOR CONTROL

19. TRUSTEE'S REPORT

20. EXECUTIVE SESSION

21. ADJOURNMENT

*R. Drew Irvin
Village Administrator*

The Village of Lake Bluff is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding accessibility of the meeting or the facilities, are requested to contact R. Drew Irvin, Village Administrator, at 234-0774 or TDD number 234-2153 promptly to allow the Village of Lake Bluff to make reasonable accommodations.

**VILLAGE OF LAKE BLUFF
BOARD OF TRUSTEES
REGULAR MEETING
NOVEMBER 9, 2015**

DRAFT MINUTES

1. CALL TO ORDER AND ROLL CALL

Village President O'Hara called the meeting to order at 7:04 p.m. in the Lake Bluff Village Hall Board Room, and Village Clerk Aaron Towle called the roll.

The following were present:

Village President: Kathleen O'Hara

Trustees: Barbara Ankenman
Steve Christensen
Mark Dewart
John Josephitis
William Meyer

Absent: Eric Grenier

Also Present: Aaron Towle, Village Clerk
Drew Irvin, Village Administrator
Peter Friedman, Village Attorney
Susan Griffin, Finance Director
Jeff Hansen, Village Engineer
Michael Croak, Building Codes Supervisor
David Belmonte, Police Chief
Jake Terlap, Public Works Superintendent
Brandon Stanick, Assistant to the Village Administrator (A to VA)

2. PLEDGE OF ALLEGIANCE

President O'Hara led the Pledge of Allegiance.

3. CONSIDERATION OF THE MINUTES

Trustee Josephitis moved to approve the October 26, 2015 Board of Trustees Meeting Minutes as presented. Trustee Christensen seconded the motion. The motion passed on a unanimous voice vote.

4. NON-AGENDA ITEMS AND VISITORS

There were no requests to address the Board.

5. VILLAGE BOARD SETS THE ORDER OF THE MEETING

At the request of those present, Trustee Meyer moved to take Agenda Items #16, #17 and #11 then return to the regular order of the meeting. Trustee Dewart seconded the motion. The motion passed on a unanimous voice vote.

6. ITEM #16 – AN ORDINANCE AMENDING ORDINANCES 98-25, 2004-10 AND 2010-27 CONCERNING THE EXISTING SPECIAL USE PERMIT FOR THE PERSONAL WIRELESS FACILITY AT THE PUBLIC SAFETY BUILDING (45 E. Center Avenue)

President O’Hara reported over the past year the Village has negotiated an amendment to the site agreement with Crown Castle so as to allow T-Mobile to install additional communications equipment and antennae on the Village’s existing monopole behind the Public Safety Building (PSB). In preparation of adding the T-Mobile service equipment to the existing monopole, the Village and T-Mobile filed a zoning petition (as Co-Petitioners) seeking an amendment to the existing Special Use Permit (SUP). She further reported on October 21, 2015 the Plan Commission and Zoning Board of Appeals (PCZBA) conducted a public hearing and unanimously recommended the Village Board approve the amendment to the SUP for additional wireless antennae and related equipment. At its meeting on November 3rd the Architectural Board of Review (ABR) conducted a public hearing and unanimously recommended the Village Board approve the following changes to the cell tower site plan:

- Installation of new antennae equipment placed at a height of 123 ft. above the ground;
- All new equipment match the existing color of the monopole; and
- Installation of any non-antennae equipment not exceed the height of the existing brick enclosure at the rear of the PSB.

As there were no questions, Trustee Dewart moved to approve first reading of the ordinance. Trustee Josephitis seconded the motion. The motion passed on the following roll call vote:

Ayes: (5) Ankenman, Christensen, Dewart, Josephitis and Meyer
Nays: (0)
Absent: (1) Grenier

7. ITEM #17 – A RESOLUTION APPROVING A THIRD AMENDMENT TO THE SITE AGREEMENT BY AND BETWEEN THE VILLAGE AND CROWN CASTLE (NCWPCS MPL 22 – YEAR SITES TOWER HOLDINGS LLC) REGARDING THE USE OF THE VILLAGE’S PERSONAL WIRELESS FACILITY LOCATED AT THE PUBLIC SAFETY BUILDING (45 E. Center Avenue)

President O’Hara reported over the past year the Village has negotiated an amendment to the site agreement with Crown Castle so as to allow T-Mobile to install additional communications equipment and antennae on the Village’s existing monopole behind the Public Safety Building. Consistent with the direction from the Village Board, the terms of this amendment are as follows:

- Only T-Mobile will be permitted to install wireless communication facilities at the Public Safety Building monopole site;
- Crown Castle will not be responsible for installing a generator to serve the monopole telecommunications carriers (AT&T never installed this as part of the recent monopole replacement);

- The Village will receive additional rent from Crown Castle in the amount of \$1,169/month with an annual escalation of 3% (represents 50% of revenue from the T-Mobile and Crown Castle Lease Agreement); and
- The term of this amendment will correspond with the existing lease.

Trustee Dewart asked if T-Mobile plans to install a back-up power generator. Village Administrator Drew Irvin stated AT&T was given zoning authority to install a generator when the tower was rebuilt. The generator was to serve all the existing telecommunication carriers; however, AT&T did not have the obligation to complete the installation.

Elton Manion, a representative of T-Mobile, stated the proposed plans do not include a generator at the facility.

Trustee Meyer asked if these type of facilities require a back-up generator. Mr. Manion stated there are battery back-ups installed on the monopole for emergency communication purposes.

As there were no further questions, Trustee Christensen moved to adopt the resolution. Trustee Meyer seconded the motion. The motion passed on the following roll call vote:

Ayes: (5) Christensen, Dewart, Josephitis, Meyer and Ankenman
Nays: (0)
Absent: (1) Grenier

8. ITEM #11 – A RESOLUTION ESTIMATING THE AMOUNT OF THE ANNUAL AGGREGATE 2015 PROPERTY TAX LEVY

President O’Hara reported annually the Village is statutorily required to estimate the funds to be raised from taxes on real property in the Village prior to the adoption of the levy. This is an estimate and does not limit the Board’s ability to levy a different amount provided it is in compliance with the Truth in Taxation Law and all applicable notice and hearing provisions.

President O’Hara reported the Finance Committee, at their October 31st meeting, reviewed the 2015 levy projections and recommended approval of an aggregate property tax levy of \$4,079,460 or 1.39% more than the 2014 property tax extension. The Village share of the property tax levy is \$3,193,412 and the Library’s share is estimated at \$886,048. She further reported at this time, the Library Board has not submitted its levy request. This levy comprises new construction equalized assessed valuation (EAV) estimated at \$2.98 million and a CPI factor of 0.8%. The total EAV is projected to increase by 7% to \$513 million. This estimated levy is in compliance with the amount allowed under the Property Tax Limitation Act. In addition, she noted the first reading of the 2015 tax levy ordinance and the public hearing will be held on Monday, November 23rd.

Finance Director Susan Griffin stated the estimated levy is in compliance with the Property Tax Limitation Act. She stated new construction EAV appears low at \$2.98 million because the Target commercial development opened in July, 2015 and will be partially on the tax role. Finance Director Griffin stated it will take a few years for the full value of a commercial development to be fully on the tax roles as new construction. In addition, she confirmed the new construction CPI factor is .08% or .008.

President O'Hara asked if the Village has received any sales tax revenue from the State. Finance Director Griffin stated sales tax revenue for new developments has been received for the month of August. She noted it is too preliminary to know the exact figures associated with the new Target Development. She commented on automobile sales and noted incentive programs and year end sale events are a significant factors in automobile sales.

President O'Hara provided information regarding ongoing actions of the State Legislature and noted the State continues to withhold Motor Fuel Tax and E911 tax revenues. She stated this is a preliminary levy and the final levy will be considered at the December 2015 meeting. The final levy may reflect different figures due to the condition of the State, but will remain in compliance with the Property Tax Limitation Act.

Cynthia Stemler, a Village resident, expressed her concern regarding the proposed tax increase and presented a signed petition regarding taxation in the community that was recently sent to the Board. Ms. Stemler stated that she recently learned of the intent of School District #65 to announce an extension that would increase taxes by 7%. She stated currently each tax levy body operates in a silo and noted most of assessed values increased this year and the increase being a percentage in the overall budget will impact taxes paid by residents. Ms. Stemler asked the Village to consider not increasing taxes to the maximum amount in the future and to interact with the other Boards to slow the growth of taxes throughout the community.

President O'Hara expressed her understanding regarding the concerns expressed by Ms. Stemler and stated the Village has no control over the EAV which has a tremendous effect on the tax rate and how it is distributed to individual homeowners. President O'Hara stated future planning would be to have the Tri-Board, which consist of the Village, Lake Bluff Park District and School District #65, hold discussions prior to consideration of the tax levies.

President O'Hara stated the Village is concerned with the tax increase but there are a variety of factors beyond the Village's control, such as the Police Pension, currently funded at 54% and by law has to be funded 90% by 2040. She stated the Village will continue to monitor the issue and thanked Ms. Stemler for her comments.

As there were no further questions, Trustee Josephitis moved to adopt the resolution. Trustee Ankenman seconded the motion. The motion passed on a unanimous voice vote.

9. ITEM #6A – WARRANT REPORT FOR NOVEMBER 1-15, 2015 AND OCTOBER 2015
PAYROLL EXPENDITURES

President O'Hara reported expenditure of Village funds for payment of invoices in the amount of \$227,400.66 for November 1-15, 2015.

President O'Hara reported expenditure of Village funds for payroll in the amount of \$417,771.13 for October 2015.

As such, the total Expenditures for this period is in the amount of \$645,171.79.

As there were no comments from the Board, Trustee Christensen moved to approve the Warrant Reports. Trustee Meyer seconded the motion. The motion passed on the following roll call vote:

Ayes: (5) Dewart, Josephitis, Meyer, Ankenman and Christensen
Nays: (0)
Absent: (1) Grenier

10. ITEM #6B – OCTOBER 2015 FINANCIAL REPORT

At President O’Hara’s request, Finance Director Susan Griffin stated there is not much new information in this report because the last finance report was presented at the October 26th meeting. She then provided a brief summary of the October 2015 Finance Report and highlighted major revenue sources and expenditures for the period.

- Sales tax revenue for May-July 2015 is \$683,000 which is \$25,000 or 4% greater than 2014. Home rule sales tax of \$174,000 is \$23,000 or 15% greater than 2014;
- May has traditionally been the largest monthly receipt of state shared income tax revenue due to the filing of taxes in April. At \$332,000 May-October 2015 revenue is 15% greater than the same period in 2014;
- Building permit revenue represents 52% of the annual budget projection, as expected;
- Capital project expenditures exceed the same period in 2014 by \$620,000; and
- Water billed consumption is down 9.334 million gallons. This resulted in a decline in water sales of \$50,000 (after accounting for the change in water rates).

Finance Director Griffin stated Staff will continue to closely monitor the actions in Springfield and assess the implications to the Village of potential changes in State-shared revenue allocations, property tax limitations and pension reform.

Trustee Dewart moved to accept the Finance Report. Trustee Josephitis seconded the motion. The motion passed on a unanimous voice vote.

11. ITEM #7A – VILLAGE ADMINISTRATOR’S REPORT CONCERNING AN INFORMATIONAL REPORT REGARDING THE FY2015 VILLAGE CANOPY TREE PLANTING PILOT PROGRAM (Native Tree Sale)

Public Works Superintendent Jake Terlap stated the Village had partnered with Lake Bluff Open Lands Association (LBOLA) for a one week pilot program that offered the sale of four varieties of Oaks (Red, Swamp White, Bur and Chinquapin) at the Public Works Facility. He stated LBOLA offered delivery and installation for an additional charge of \$25.00. There were a total of 33 trees purchase and 26 were sold and the seven unsold trees were planted in various locations in the Village. Public Works Superintendent Terlap stated should the program move forward it should be a one day event preferably held on Saturday on the Village Green.

Village Administrator Irvin stated this was a successful program and suggested it be included in next year’s budget.

In response to a comment from the Board, Public Works Superintendent Terlap stated the total cost for the trees was \$4,200, which was less than the budgeted amount of \$4,500 for the pilot program.

Trustee Christensen moved to accept the report. Trustee Meyer seconded the motion. The motion passed on a unanimous voice vote.

On a separate matter, Village Administrator Irvin stated the Committee-of-the-Whole (COW) previously discussed outdoor construction and property maintenance regulations and Staff was given direction to prepare draft regulations to be shared with local landscapers. Since that time Staff has met with and received feedback from Mariani Landscaping and is currently waiting on feedback from two other landscaping firms. He stated once the feedback has been received the draft ordinance will be presented to the COW at a future meeting.

12. ITEM #8 - VILLAGE ATTORNEY'S REPORT

Village Attorney Peter Friedman had no report.

13. ITEM #9 – VILLAGE PRESIDENT'S REPORT

President O'Hara encouraged everyone to attend the annual Veteran's Day Ceremony, sponsored by American Legion Post 510, on November 11th (9:00 a.m.) on the Village Green.

14. ITEM #10 – ACCEPTANCE OF THE CORRESPONDENCE

President O'Hara introduced the correspondence from the Informational Reports on October 23 and 30, 2015.

Trustee Ankenman moved to accept the correspondence as submitted. Trustee Josephitis seconded the motion. The motion passed on a unanimous voice vote.

15. ITEM #12 – RECEIPT OF FY2014-15 COMPREHENSIVE ANNUAL FINANCIAL REPORT (CAFR)

President O'Hara reported the Village received an unmodified opinion from its auditors, Sikich LLP, that the financial statements are fairly presented in conformity with generally accepted accounting principles. This represents the highest opinion that an organization can receive. The CAFR is comprised of the basic financial statements with footnotes, a transmittal letter, a management and discussion analysis, detailed fund level statements with budget comparisons, and statistical information for the past ten years.

President O'Hara reported at their October 31st meeting the Finance Committee reviewed the draft CAFR, met with Daniel Berg, Partner with Sikich, and voted unanimously to recommend to the Village Board acceptance of the CAFR. The CAFR is available on the Village's website and a printed, bound copy is available for public viewing at the Village Hall, the Public Safety Building, and at the Lake Bluff Library.

Finance Director Griffin thanked the Village Board and Assistant Finance Director Marlene Scheibl for their support throughout the process.

Trustee Dewart congratulated Staff on another successful audit.

Trustee Meyer moved to accept the FY2014-15 CAFR. Trustee Dewart seconded the motion. The motion passed on a unanimous voice vote.

16. ITEM #13 – A RESOLUTION APPROVING A SITE PLAN FOR BERNIE’S BOOK BANK AT 917 NORTH SHORE DRIVE

President O’Hara reported on June 22, 2015 the Village Board approved a resolution approving a site plan review for Bernie’s Book Bank, which is a charitable organization that is relocating to the building at 917 North Shore Drive. The petitioner is requesting approval of revisions to that design. They are proposing a smaller wall sign, the elimination of the previously proposed solid canopy at the entrance, and the elimination of the vertical trellises.

President O’Hara reported the ABR reviewed the proposed building changes and the proposed signs at its November 3, 2015 meeting. The ABR approved the sign and unanimously recommended that the Village Board approve the building alterations. In preparation for the Village Board’s consideration of the request, the neighboring property owners have been notified of the meeting date and a resolution has been prepared transmitting the ABR’s recommendation.

In response to a question from Trustee Christensen regarding the changes, Building Codes Supervisor Michael Croak stated the Petitioner did not inform Staff of their reason for the proposed changes.

As there were no further questions, Trustee Christensen moved to adopt the resolution. Trustee Josephitis seconded the motion. The motion passed on the following roll call vote:

Ayes: (5) Josephitis, Meyer, Ankenman, Christensen and Dewart
Nays: (0)
Absent: (1) Grenier

17. ITEM #14 – A RESOLUTION APPROVING AN AMENDED AND RESTATED LANDSCAPE WASTE COMPOSTING AGREEMENT BY AND BETWEEN THE VILLAGE OF LAKE BLUFF AND DK ORGANICS, LLC

President O’Hara reported since 1994 the Village has contracted with DK Organics of Lake Bluff, Illinois (DK) for the processing of all yard waste delivered to the Public Works Center by Village crews and residents (Agreement). In November of 2008 the Village reviewed and renewed the Agreement with DK and again extended the Agreement on November 25, 2013 for a period of 2 years. The Village and DK’s partnership continues to be mutually beneficial in that the Village reduces its fees for household waste collection, secures quality materials for Village and resident landscape needs, and furthers the Village’s sustainability efforts (reducing carbon footprint and locally recycling yard waste), while DK secures an overflow location for their operations which are largely done off Village property. Over the last several months Village Staff has researched alternative service providers and, largely due to logistics and value, is again recommending extending the Village’s Agreement with DK. Specifically, Village staff recommends extending the contract with DK Organics for a period of 3 years maintaining the terms of the Agreement the same with the following suggested changes:

- Move to a flat fee of \$29,500 per year;
- DK will provide Village access to high quality compost materials (up to 250 yards of “super fines” screened compost material) in addition to landscape mulch;

- DK and the Village will share the installation fees (not to exceed \$3,000) for a gate to provide added site security;
- DK has agreed to accept food scrap waste at their site in North Chicago for no additional charge to Village, should the Village initiate a food scrap collection program with Groot; and
- 120-day escape clause for the Village has been included.

On October 31, 2015 the Village Finance Committee discussed the proposed changes to the Agreement and unanimously recommended the Village Board approve the amendment and restatement as presented.

As there were no questions, Trustee Josephitis moved to adopt the resolution. Trustee Dewart seconded the motion. The motion passed on the following roll call vote:

Ayes: (5) Meyer, Ankenman, Christensen, Dewart and Josephitis
Nays: (0)
Absent: (1) Grenier

18. ITEM #15 – A RESOLUTION AUTHORIZING THE EXECUTION OF AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE VILLAGE AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) FOR CONSTRUCTION OF THE SHERIDAN ROAD PEDESTRIAN PATH PROJECTS

President O’Hara reported the FY2016 Capital Improvement Plan includes funding for the construction of a path along the Sheridan Road Cutoff to connect from the existing sidewalk on the north side of the Village’s Public Safety Building, through a portion of Artesian Park, and cross Sheridan Road to connect to the Robert McClory Bike Trail. Also included are pedestrian crossing improvements at the intersection of Sheridan Road and McKinley Road connecting the east side of Sheridan Road to the Robert McClory Bike Trail. The Village and IDOT secured a grant to fund the project with 80% of the costs to be funded by the State and 20% to be funded by the Village.

President O’Hara reported the project plans were completed by the Village’s consultant, Gewalt Hamilton Associates, and IDOT is preparing to let the project for bids with anticipated construction in the summer of 2016. Prior to letting the project for bids, IDOT is requiring that the Village execute the Local Agency Agreement and appropriate the Village share of the construction and construction engineering costs.

In addition, President O’Hara reported the estimated Village share the project is \$35,913. The Village’s FY2016 Budget includes a total of \$25,000 project. The budgeted amount was based on prior project cost estimates, and the estimates have risen as the final design was completed. It is recommended that additional monies be allocated for the project and the agreement be adopted to complete the improvements as planned.

Trustee Christensen inquired of the increase in cost. Village Engineer Jeff Hansen stated the State determined there is potential soil contamination and the cost estimate increased due to the potential that the soil would have to be disposed of at a landfill. Village Engineer Hansen stated the approved resolution must be submitted before IDOT lets the project in January, construction is anticipated in the summer of 2016.

As there were no further questions, Trustee Meyer moved to adopt the resolution. Trustee Christensen seconded the motion. The motion passed on the following roll call vote:

Ayes: (5) Ankenman, Christensen, Dewart, Josephitis and Meyer
Nays: (0)
Absent: (1) Grenier

19. ITEM #18 – TRUSTEE’S REPORT

There was no Trustee’s Report.

20. ITEM #20 – ADJOURNMENT

Trustee Meyer moved to adjourn the regular meeting. Trustee Josephitis seconded the motion and the motion passed on a unanimous voice vote. The meeting adjourned at 7:50 p.m.

Respectfully Submitted,

R. Drew Irvin
Village Administrator

Aaron Towle
Village Clerk

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 6a

Subject: WARRANT REPORT FOR NOVEMBER 16-30, 2015

Action Requested: APPROVAL OF DISBURSEMENTS (Roll Call Vote)

Originated By: DIRECTOR OF FINANCE

Referred To: VILLAGE BOARD

Summary of Background and Reason For Request:

Expenditure of Village funds for payment of invoices in the amount of \$221,464.20 for November 16-30, 2015.

Total Expenditures of **\$221,464.20**

Reports and Documents Attached:

1. Warrant Report for November 16-30, 2015 \$221,464.20 (dated 11/23/15)

Note that the warrant report designates those checks issued prior to the Board's formal approval as manual checks "M" on the Warrant Report. These are checks that are prepared in advance of the warrant due to contractual or governmental/payroll tax obligations; to obtain a discount; or for extenuating circumstances that may arise.

Village Administrator's Recommendation:

Approval of Warrant in the total amount of **\$221,464.20**

Date Referred to Village Board: 11/23/2015

DATE: 11/18/15
TIME: 15:41:36
ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
DETAIL BOARD REPORT

PAGE: 1

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

ADP	ADP INC.						
463771334	11/13/15	01	PAYROLL PROCESSING:11/12/15	01-60-610-41304		11/23/15	191.75
				OTHER PROFESSIONAL SERVICE			
						INVOICE TOTAL:	191.75
						VENDOR TOTAL:	191.75
AMERGAS	AMERICAN GASES CORP.						
103922	10/31/15	01	OXYGEN TANKS:FIRE	01-70-730-43570		11/23/15	14.00
				OPERATING SUPPLIES			
						INVOICE TOTAL:	14.00
15-1925	10/30/15	01	GAS LAMP CHIMNEYS/MANTLES	01-80-840-43230		11/23/15	227.84
				UTILITIES/STREET LIGHTS			
						INVOICE TOTAL:	227.84
						VENDOR TOTAL:	241.84
ANDERPES	ANDERSON PEST CONTROL						
3595368	11/01/15	01	PEST CONTROL:VILL HALL	01-60-900-41000		11/23/15	44.29
				MAINTENANCE-BUILDING			
						INVOICE TOTAL:	44.29
						VENDOR TOTAL:	44.29
AT & T	AT & T						
1511 615-2726	11/04/15	01	LCL PH SRVC:WATER TOWER	46-80-800-43210		11/23/15	92.05
				TELEPHONE			
						INVOICE TOTAL:	92.05
1511 734-5820	11/07/15	01	SPO LEASE	32-70-711-47600		11/23/15	617.34
				SPO LEASE PAYMENT			
						INVOICE TOTAL:	617.34
						VENDOR TOTAL:	709.39

ATLFIRST ATL FIRST AID, INC.

DATE: 11/18/15
TIME: 15:41:36
ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
ATLFIRST ATL FIRST AID, INC.							
11975	10/20/15	01	FIRST AID SUPPLIES:POLICE	01-70-710-43570		11/23/15	41.80
				OPERATING SUPPLIES			
						INVOICE TOTAL:	41.80
						VENDOR TOTAL:	41.80
BAXTWOOD BAXTER & WOODMAN							
0182698	10/22/15	01	TANG OAKS LIFT STN STUDY	01-80-890-41304		11/23/15	1,197.50
				OTHER PROFESSIONAL SERVICE			
						INVOICE TOTAL:	1,197.50
0182699	11/22/15	01	ENG SRVC'S:MOFFETT RD CULVERT	43-80-870-49000		11/23/15	6,660.00
				MOFFETT RD BOX CULVERT			
						INVOICE TOTAL:	6,660.00
						VENDOR TOTAL:	7,857.50
BHFLLC BHFLLC							
217909	11/10/15	01	COPIES:306 E WITCHWOOD PLANS	01-60-680-43400		11/23/15	18.50
				PRINTING			
						INVOICE TOTAL:	18.50
						VENDOR TOTAL:	18.50
BUCKBROS BUCK BROTHERS, INC.							
52010	11/17/15	01	MOWER DECK CASTER BUSHINGS	01-80-870-43650		11/23/15	10.53
				MAINTENANCE SUPPLIES-EQUIP			
						INVOICE TOTAL:	10.53
						VENDOR TOTAL:	10.53
CALLONE CALL ONE							
1010-9117-1510	11/15/15	01	POTS LINES:V HALL ELEVATOR	01-60-610-43210		11/23/15	26.68
				TELEPHONE			

DATE: 11/18/15
TIME: 15:41:36
ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
CALLONE CALL ONE							
1010-9117-1510	11/15/15	02	POTS LINES:DISPATCH	01-70-711-43210		11/23/15	109.09
				TELEPHONE			
		03	POTS LINES:FIRE	01-70-730-43210			61.37
				TELEPHONE			
		04	POTS LINES:PUB WKS	01-80-910-43210			170.46
				TELEPHONE			
						INVOICE TOTAL:	367.60
						VENDOR TOTAL:	367.60
CARQUEST CARQUEST OF LIBERTYVILLE							
14663-129057	11/05/15	01	LIGHT BULB SOCKETS	46-80-800-43640		11/23/15	11.98
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	11.98
14663-129110	11/05/15	01	CONTROL ARM ASSEMBLY:SQD CAR	01-70-710-43640		11/23/15	170.92
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	170.92
14663-129153	11/05/15	01	SWAY BAR LINKS:SQD CAR	01-70-710-43640		11/23/15	21.98
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	21.98
14663-129162	11/05/15	01	BRAKE PADS/ROTORS	01-70-710-43640		11/23/15	205.37
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	205.37
14663-130075	11/13/15	01	BRAKE PADS/ROTORS #62009	46-80-800-43640		11/23/15	619.94
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	619.94
						VENDOR TOTAL:	1,030.19
CHITRICAL CHICAGO TRIBUNE							
CTCM368059	10/06/15	01	PUB NOTICE:WINE BROKERS	01-20-202-20586		11/23/15	56.00
				ZONING ESCROW-910 SHERWOOD			
						INVOICE TOTAL:	56.00

DATE: 11/18/15
 TIME: 15:41:37
 ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
CHITRICK CHICAGO TRIBUNE							
CTCM368060	10/06/15	01	PUB NOTICE:T-MOBILE	01-20-202-20583 ZONING ESCROW-T-MOBILE		11/23/15	52.00
						INVOICE TOTAL:	52.00
CTCM373961	10/05/15	01	BID NOT-GATEWAY/IDENTIFICATION	01-60-680-43400 PRINTING		11/23/15	166.40
		02	SIGNAGE FABRICATION PROJ	** COMMENT **			
						INVOICE TOTAL:	166.40
CTCM373962	10/05/15	01	BID NOT:GATEWAY/IDENTIFICATION	01-60-680-43400 PRINTING		11/23/15	155.20
		02	SIGNAGE INSTALLATION PROJ	** COMMENT **			
						INVOICE TOTAL:	155.20
CTCM390388	10/31/15	01	ZBA NOTICE:31 E SHERIDAN PL	01-60-680-43400 PRINTING		11/23/15	84.80
						INVOICE TOTAL:	84.80
CTCM390389	10/31/15	01	ZBA NOTICE:14 E SCRANTON AVE	01-60-680-43400 PRINTING		11/23/15	55.20
						INVOICE TOTAL:	55.20
						VENDOR TOTAL:	569.60
BURKECHR CHRISTOPHER BURKE ENGINEERING							
123462	07/09/15	01	VIADUCT DRAINAGE IMPROVEMENTS	01-80-890-41304 OTHER PROFESSIONAL SERVICE		11/23/15	4,156.00
		02	W SCRANTON AVE	** COMMENT **			
						INVOICE TOTAL:	4,156.00
123463	07/09/15	01	CAMPBELL CT DRAINAGE ANALYSIS	01-80-890-41304 OTHER PROFESSIONAL SERVICE		11/23/15	357.50
						INVOICE TOTAL:	357.50
123895	08/04/15	01	VIADUCT DRAINAGE IMPROVEMENTS	01-80-890-41304 OTHER PROFESSIONAL SERVICE		11/23/15	17,321.74

DATE: 11/18/15
 TIME: 15:41:37
 ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
BURKECHR CHRISTOPHER BURKE ENGINEERING							
123895	08/04/15	02	W SCRANTON AVE		** COMMENT **	11/23/15	
						INVOICE TOTAL:	17,321.74
123896	08/04/15	01	CAMPBELL CT DRAINAGE ANALYSIS	01-80-890-41304		11/23/15	7,284.24
				OTHER PROFESSIONAL SERVICE		INVOICE TOTAL:	7,284.24
125486	10/28/15	01	RT 41/176 INTERCHANGE STUDY	43-80-840-41305		11/23/15	6,493.10
				RT 41/176 INTERCHNGE ENG S		INVOICE TOTAL:	6,493.10
126026	11/16/15	01	RT 41/176 INTERCHANGE STUDY	43-80-840-41305		11/23/15	1,285.79
				RT 41/176 INTERCHNGE ENG S		INVOICE TOTAL:	1,285.79
						VENDOR TOTAL:	36,898.37
COLOFDUP COLLEGE OF DUPAGE							
6461	11/03/15	01	BASIC EVIDENCE TECH TRNG:KASS	01-70-710-42400		11/23/15	295.00
				TRAINING/EDUCATION			
		02	COMMUNICTN INTEL TRNG:REYNOLDS	01-70-710-42400			95.00
				TRAINING/EDUCATION			
						INVOICE TOTAL:	390.00
						VENDOR TOTAL:	390.00
COMED COM ED							
2030627002 1510	11/05/15	01	ELECTR:1 GR BAY RD-SS #176	01-80-840-43230		11/23/15	63.11
				UTILITIES/STREET LIGHTS			
		02	10/5-11/5/15	** COMMENT **			
						INVOICE TOTAL:	63.11
3533022019 1510	11/02/15	01	ELECTR:SAN LFT STN-LKLAND DR	01-80-890-43230		11/23/15	475.09
				UTILITIES			

DATE: 11/18/15
 TIME: 15:41:37
 ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
COMED COM ED							
3533022019 1510	11/02/15	02	ELECTR:WATER TOWER 9/3-10/5/15	46-80-800-43230		11/23/15	123.16
				ELECTRIC UTILITY			
						INVOICE TOTAL:	598.25
5190012013 1510	11/04/15	01	ELECTR:WALNUT PRKNG LOT LIGHTS	01-80-840-43230		11/23/15	60.80
		02	10/5-11/4/15	UTILITIES/STREET LIGHTS			
				** COMMENT **			
						INVOICE TOTAL:	60.80
						VENDOR TOTAL:	722.16
COMCAST COMCAST CABLE							
11/16-12/15/15	11/09/15	01	COMMUNITY ROOM INTERNET ACCESS	01-70-930-41300		11/23/15	127.85
		02	11/16-12/15/15	INTERNET/COMPUTER SERVICES			
				** COMMENT **			
						INVOICE TOTAL:	127.85
						VENDOR TOTAL:	127.85
DAVE'SNO DAVE'S NORTHSHORE TOWING, INC							
2197	11/01/15	01	TOW VEHICLE:CASE #15-9234	01-70-710-41100		11/23/15	325.00
				MAINTENANCE-VEHICLES			
						INVOICE TOTAL:	325.00
						VENDOR TOTAL:	325.00
DECKWERK DECKWERKS INC.							
22347	11/05/15	01	FNL PAY:GLEN AVE FOOTBRIDGE	01-80-840-49246		11/23/15	3,700.00
				GLEN AVE FOOTBRIDGE IMPROV			
						INVOICE TOTAL:	3,700.00
						VENDOR TOTAL:	3,700.00
DKORGAN DK ORGANICS, LLC							
OCT 2015	10/01/15	01	YARDWASTE COMPOST:OCT 2015	01-80-850-44670		11/23/15	6,738.16
				YARD WASTE DISPOSAL			
						INVOICE TOTAL:	6,738.16
						VENDOR TOTAL:	6,738.16

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DATE: 11/18/15
TIME: 15:41:37
ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
DETAIL BOARD REPORT

PAGE: 7

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
DUROWELD DUROWELD CO., INC.							
20986	11/05/15	01	CURB RUNNERS FOR SNOW PLOWS	01-80-840-41200		11/23/15	585.90
				MAINTENANCE-EQUIPMENT			
						INVOICE TOTAL:	585.90
						VENDOR TOTAL:	585.90
ESSENEQU ESSENTIAL EQUIPMENT SOLUTIONS							
4131	11/05/15	01	REP'R GAS DETECTORS:FIRE	01-70-730-41200		11/23/15	468.00
				MAINTENANCE EQUIPMENT			
						INVOICE TOTAL:	468.00
						VENDOR TOTAL:	468.00
GFOA GOV'T FINANCE OFFICERS ASSN.							
2803903	11/13/15	01	BANKING SRVC SEMINAR:SCHEIBL	01-60-610-42400		11/23/15	580.00
				TRAINING/EDUCATION			
						INVOICE TOTAL:	580.00
						VENDOR TOTAL:	580.00
00000537 GEWALT HAMILTON ASSOC., INC.							
4478.000-32	11/06/15	01	101 WAUKEGAN RD REVIEW	01-20-202-20580		11/23/15	342.00
				ZONING ESCROW-101 WAUKEGAN			
		02	2016 ROADWAY IMPROVEMENT PROJ	01-80-840-49216			278.25
				STREET REHAB PROJECTS NON-			
						INVOICE TOTAL:	620.25
4478.009-8	11/06/15	01	RT176 ROADWAY IMPROVE/TARGET	01-80-840-41304		11/23/15	554.50
				OTHER PROFESSIONAL SERVICE			
						INVOICE TOTAL:	554.50
4478.010-7	11/06/15	01	2015 ROADWAY IMPROVMENT PROJ	01-80-840-49216		11/23/15	1,323.00
				STREET REHAB PROJECTS NON-			
						INVOICE TOTAL:	1,323.00
						VENDOR TOTAL:	2,497.75

DATE: 11/18/15
TIME: 15:41:37
ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
GLOBALCO GLOBALCOM INC							
12931838	10/21/15	01	PRI/VOIP TELEPHONE SRVC	01-60-600-43210		11/23/15	67.47
				TELEPHONE			
		02	PRI/VOIP TELEPHONE SRVC	01-60-610-43210			67.47
				TELEPHONE			
		03	PRI/VOIP TELEPHONE SRVC	01-60-680-43210			67.47
				TELEPHONE			
		04	PRI/VOIP TELEPHONE SRVC	01-70-710-43210			67.47
				TELEPHONE			
		05	PRI/VOIP TELEPHONE SRVC	01-70-711-43210			89.95
				TELEPHONE			
		06	PRI/VOIP TELEPHONE SRVC	01-70-730-43210			44.97
				TELEPHONE			
		07	PRI/VOIP TELEPHONE SRVC	01-80-910-43210			44.97
				TELEPHONE			
						INVOICE TOTAL:	449.77
						VENDOR TOTAL:	449.77
GRIFFINS SUSAN GRIFFIN							
'EE GIFT CARDS	11/16/15	01	TARGET 'EE HOLIDAY GIFT CARDS	01-60-600-40800		11/23/15	2,050.00
				EMPLOYEE RECOGNITION			
						INVOICE TOTAL:	2,050.00
						VENDOR TOTAL:	2,050.00
GROOT GROOT INDUSTRIES							
13680766	11/01/15	01	WASTE DISPOSAL/RECYCLNG:NOV 15	01-80-850-41305		11/23/15	45,452.80
				WASTE/RECYCLING CONTRACT			
						INVOICE TOTAL:	45,452.80
						VENDOR TOTAL:	45,452.80
GUSTERNA NANCY GUSTERINE							
IFSAP	11/04/15	01	MILEAGE:IL FIRE SRV ADMIN TRNG	01-70-730-42411		11/23/15	55.76
				MILEAGE			
						INVOICE TOTAL:	55.76
						VENDOR TOTAL:	55.76

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DATE: 11/18/15
TIME: 15:41:37
ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
HAMPTONL HAMPTON, LENZINI & RENWICK INC							
000020151271	11/06/15	01	DESIGN SRVC'S:FLASHING BEACONS	01-80-840-49200		11/23/15	2,603.00
		02	AT SHERIDAN RD CROSSING	OTHER IMPROVEMENTS ** COMMENT **			
						INVOICE TOTAL:	2,603.00
						VENDOR TOTAL:	2,603.00
HARRIS HARRIS							
XT00005231	10/29/15	01	SERVER MIGRATION ASSISTANCE	01-60-610-41300		11/23/15	450.00
				COMPUTER SERVICES			
						INVOICE TOTAL:	450.00
						VENDOR TOTAL:	450.00
HAVEYCOM HAVEY COMMUNICATIONS, INC.							
5910	11/06/15	01	REP'L EMERG LED LIGHT'S #4570	01-70-730-43640		11/23/15	314.90
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	314.90
5925	11/11/15	01	REP'R IGNITION OVERRIDE SQD#24	01-70-710-41100		11/23/15	279.00
				MAINTENANCE-VEHICLES			
						INVOICE TOTAL:	279.00
						VENDOR TOTAL:	593.90
HDSUPPLY HD SUPPLY WATERWORKS, LTD							
D585165	02/27/15	01	WIRING/METER READING DEVICES	46-80-800-43575		11/23/15	4,940.00
				WATER METERS			
						INVOICE TOTAL:	4,940.00
D602524	02/27/15	01	CREDIT:DEVICES & WIRING	46-80-800-43575		11/23/15	-4,946.73
				WATER METERS			
						INVOICE TOTAL:	-4,946.73
E328611	08/10/15	01	CREDIT:WATER METER READ DEVICE	46-80-800-43575		11/23/15	-36.10
				WATER METERS			
						INVOICE TOTAL:	-36.10

DATE: 11/18/15
 TIME: 15:41:37
 ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
HDSUPPLY HD SUPPLY WATERWORKS, LTD							
E721862	10/29/15	01	BLUE MARKER FLAGS	46-80-800-43670		11/23/15	50.00
				MAINTENANCE SUPPLIES-UTILI			
		02	GREEN MARKING PAINT	46-80-800-43670			45.60
				MAINTENANCE SUPPLIES-UTILI			
		03	BLUE MARKING PAINT	46-80-800-43670			91.20
				MAINTENANCE SUPPLIES-UTILI			
		04	RED MARKING PAINT	46-80-800-43670			45.60
				MAINTENANCE SUPPLIES-UTILI			
		05	5/8 WATER METERS	46-80-800-43575			232.00
				WATER METERS			
						INVOICE TOTAL:	464.40
E722444	10/29/15	01	BLUE MARKER FLAGS	46-80-800-43670		11/23/15	100.00
				MAINTENANCE SUPPLIES-UTILI			
						INVOICE TOTAL:	100.00
E735885	10/30/15	01	3/4" WATER METERS	46-80-800-43575		11/23/15	765.00
				WATER METERS			
		02	1" WATER METERS	46-80-800-43575			1,980.00
				WATER METERS			
		03	WATER METER READING DEVICES	46-80-800-43575			2,990.00
				WATER METERS			
		04	1" WATER METER CONNECTIONS	46-80-800-43575			750.00
				WATER METERS			
						INVOICE TOTAL:	6,485.00
						VENDOR TOTAL:	7,006.57
HOLLAND HOLLAND & KNIGHT LLP							
OCT 2015	11/06/15	01	LEGAL SERVICES:OCT 2015	01-60-600-41350		11/23/15	4,570.00
				LEGAL SERVICES			
		02	WATER ISSUES:OCT 2015	46-80-800-41304			135.00
				OTHER PROFESSIONAL SERVICE			
		03	PCZBA/HPC/ARB MATTERS:OCT 15	01-60-600-41350			2,099.40
				LEGAL SERVICES			

DATE: 11/18/15
 TIME: 15:41:37
 ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
HOLLAND HOLLAND & KNIGHT LLP							
OCT 2015	11/06/15	04	BLDG PERMIT/CODE ISSUES:OCT 15	01-60-680-41350		11/23/15	297.00
				LEGAL SERVICE			
		05	STONEBRIDGE/ROANOKE:OCT 15	01-20-202-20535			578.00
				ZONING ESCROW-SUNCAL/STONE			
		06	TARGET PROP ESCROW:OCT 2015	01-20-202-20557			588.00
				ZONING ESCROW SHEPARD REDE			
		07	T-MOBILE ESCROW:OCT 2015	01-20-202-20583			1,304.96
				ZONING ESCROW-T-MOBILE			
		08	WINE BROKERS ESCROW:OCT 15	01-20-202-20586			675.00
				ZONING ESCROW-910 SHERWOOD			
						INVOICE TOTAL:	10,247.36
						VENDOR TOTAL:	10,247.36
HOMEDEPO HOME DEPOT CREDIT SERVICES							
6013992	10/05/15	01	VACUUM FILTERS:PUB WKS	01-80-910-43650		11/23/15	24.97
				MAINTENANCE SUPPLIES-EQUIP			
						INVOICE TOTAL:	24.97
						VENDOR TOTAL:	24.97
HOSKINGM MICHAEL HOSKING							
IL FBI CONF	11/05/15	01	IL FBI CONF (2) DAYS:GALENA,IL	01-70-710-42410		11/23/15	552.21
				CONFERENCES			
						INVOICE TOTAL:	552.21
						VENDOR TOTAL:	552.21
ICMA RET ICMA RETIREMENT TRUST 457							
11/12 PAYROLL DEDUCT	11/12/15	01	11/12 'EE PAYROLL DEDUCTION	01-20-102-45000		11/23/15	168.84
				ICMA 457 PLAN PAYABLE			
		02	11/12 'EE PAYROLL DEDUCTION	01-20-102-45000			422.08
				ICMA 457 PLAN PAYABLE			
		03	11/12 'EE PAYROLL DEDUCTION	01-20-102-45000			201.29
				ICMA 457 PLAN PAYABLE			
						INVOICE TOTAL:	792.21

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DATE: 11/18/15
TIME: 15:41:37
ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
ICMA RET ICMA RETIREMENT TRUST 457							
11/12 W/H	11/12/15	01	11/12 'EE W/H	01-20-102-45000 ICMA 457 PLAN PAYABLE		11/23/15	3,513.55
							INVOICE TOTAL: 3,513.55
							VENDOR TOTAL: 4,305.76
ILSTPOLI ILLINOIS STATE POLICE							
LIQ CONTROL:OCT 15	10/01/15	01	FINGER-PRINTING FOR LIQUOR LIC	01-70-710-41304 OTHER PROFESSIONAL SERVICE		11/23/15	59.50
							INVOICE TOTAL: 59.50
							VENDOR TOTAL: 59.50
ICMACONF INT'L CITY MANAGEMENT ASSN.							
2016 DUES:STANICK	11/10/15	01	2016 MEMBER DUES:STANICK	01-60-600-42440 DUES		11/23/15	175.00
							INVOICE TOTAL: 175.00
							VENDOR TOTAL: 175.00
ISA INT'L SOCIETY OF ARBORICULTURE							
2016 DUES:HERTEL	11/05/15	01	2016 ISA MEMBER DUES:HERTEL	01-80-860-42400 TRAINING/EDUCATION		11/23/15	175.00
							INVOICE TOTAL: 175.00
							VENDOR TOTAL: 175.00
IUOEADM INT'L UNION OF OPER ENGINEERS							
11/12 W/H	11/12/15	01	11/12 'EE IUOE ADMIN DUES	01-20-102-49000 UNION DUES PAYABLE		11/23/15	312.75
							INVOICE TOTAL: 312.75
							VENDOR TOTAL: 312.75
IUOEMEMB INT'L UNION OF OPER ENGINEERS							

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DATE: 11/18/15
 TIME: 15:41:37
 ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
IUOEMEMB INT'L UNION OF OPER ENGINEERS							
11/12 W/H	11/12/15	01	11/12 'EE IUOE MEMBER DUES	01-20-102-49000 UNION DUES PAYABLE		11/23/15	82.39
						INVOICE TOTAL:	82.39
						VENDOR TOTAL:	82.39
JGUNIFOR J.G. UNIFORMS, INC.							
39178	10/29/15	01	UNIFORM PANTS:OFCR MALKOV	01-70-710-42420 UNIFORMS		11/23/15	80.57
						INVOICE TOTAL:	80.57
						VENDOR TOTAL:	80.57
00000855 LAKE BLUFF GARDEN CLUB							
57	11/12/15	01	CBD WINTER PLANTINGS	01-80-870-44870 CBD BEAUTIFICATION PROGRAM		11/23/15	1,967.25
						INVOICE TOTAL:	1,967.25
						VENDOR TOTAL:	1,967.25
POLPEN LAKE BLUFF POLICE PENSION FUND							
11/12 W/H	11/12/15	01	11/12 'EE POLPEN W/HELD	01-20-102-45500 POLICE PENSION EE CONTRIBU		11/23/15	4,948.54
						INVOICE TOTAL:	4,948.54
						VENDOR TOTAL:	4,948.54
LCHOSE LAKE COUNTY HOSE AND EQUIPMENT							
135199	10/29/15	01	SWIVEL FITTING	01-80-910-45900 MINOR EQUIPMENT		11/23/15	33.07
						INVOICE TOTAL:	33.07
						VENDOR TOTAL:	33.07
LFACUTE LAKE FOREST ACUTE CARE							

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DATE: 11/18/15
TIME: 15:41:37
ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
LFACTUE LAKE FOREST ACUTE CARE							
14574	08/27/15	01	NEW 'EE PHYSICAL:LAWLER	01-80-910-42450		11/23/15	119.00
				RECRUITMENT			
						INVOICE TOTAL:	119.00
						VENDOR TOTAL:	119.00
LAKFORBP LAKE FOREST BP							
OCT 2015	10/31/15	01	SQUADS WASHED:OCT 2015	01-70-710-41100		11/23/15	14.00
				MAINTENANCE-VEHICLES			
						INVOICE TOTAL:	14.00
						VENDOR TOTAL:	14.00
LF CITY CITY OF LAKE FOREST							
16716	11/02/15	01	FY16 Q2 BLDG INSPECTIONS	01-60-680-41301		11/23/15	7,974.25
				BUILDING INSPECTIONS			
		02	FY16 Q2 CROYA YOUTH	01-60-600-48200			15,625.00
				INTERGOVERNMENTAL SERVICES			
		03	FY16 Q2 SR RESOURCES	01-60-600-48200			24,046.50
				INTERGOVERNMENTAL SERVICES			
		04	FY16 Q2 PATV	01-60-600-48200			7,043.00
				INTERGOVERNMENTAL SERVICES			
						INVOICE TOTAL:	54,688.75
						VENDOR TOTAL:	54,688.75
LAWSONPR LAWSON PRODUCTS, INC.							
9303668584	11/03/15	01	FASTENERS	01-80-890-43640		11/23/15	116.25
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	116.25
						VENDOR TOTAL:	116.25
LECHNER LECHNER & SONS UNIFORM RENTAL							
2091257	11/13/15	01	UNIFORMS: FORESTRY	01-80-860-42420		11/23/15	4.79
				UNIFORMS			

DATE: 11/18/15
TIME: 15:41:37
ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
LECHNER LECHNER & SONS UNIFORM RENTAL							
2091257	11/13/15	02	UNIFORMS: STREETS	01-80-840-42420 UNIFORMS		11/23/15	22.91
		03	UNIFORMS: SEWERS	01-80-890-42420 UNIFORMS			1.72
		04	UNIFORMS: PUB WKS	01-80-910-42420 UNIFORMS			15.17
		05	UNIFORMS: WATER	46-80-800-42420 UNIFORMS			1.00
		06	PUB WKS OPERATING SUPPLIES	01-80-910-43660 MAINTENANCE SUPPLIES-BLDG			10.23
						INVOICE TOTAL:	55.82
2094518	11/13/15	01	UNIFORMS: FORESTRY	01-80-860-42420 UNIFORMS		11/23/15	4.79
		02	UNIFORMS: STREETS	01-80-840-42420 UNIFORMS			22.91
		03	UNIFORMS: SEWERS	01-80-890-42420 UNIFORMS			1.72
		04	UNIFORMS: PUB WKS	01-80-910-42420 UNIFORMS			15.17
		05	UNIFORMS: WATER	46-80-800-42420 UNIFORMS			1.00
		06	PUB WKS OPERATING SUPPLIES	01-80-910-43660 MAINTENANCE SUPPLIES-BLDG			10.23
						INVOICE TOTAL:	55.82
						VENDOR TOTAL:	111.64
MINNLIFE MINNESOTA LIFE							
NOV 2015	11/05/15	01	IND LIFE PREM:FINANCE-NOV 15	01-60-610-40420 LIFE INSURANCE		11/23/15	204.67
		02	IND LIFE PREM:ADMIN-NOV 15	01-60-600-40420 LIFE INSURANCE			97.95
		03	IND LIFE PREM:POLICE-NOV 15	01-70-710-40420 LIFE INSURANCE			85.75

DATE: 11/18/15
TIME: 15:41:37
ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
MINNLIFE MINNESOTA LIFE							
NOV 2015	11/05/15	04	IND LIFE PREM:PARK DIST-NOV 15	01-10-201-37200		11/23/15	36.09
				DUE FROM PARK DISTRICT			
						INVOICE TOTAL:	424.46
						VENDOR TOTAL:	424.46
MORANTER TERRY MORAN							
10/9 MUSIC PERFORM	10/26/15	01	REPLACES CK #67647-FARM MRKT	01-60-650-44610		11/23/15	100.00
				FARMER'S MARKET			
						INVOICE TOTAL:	100.00
						VENDOR TOTAL:	100.00
NCCPETER NCC PETERSEN PRODUCTS							
68293	10/27/15	01	JANITORIAL SUPPLIES:VILL HALL	01-60-900-43660		11/23/15	185.04
				MAINTENANCE SUPPLIES-BUILD			
		02	JANITORIAL SUPPLIES:PSB	01-70-930-43660			185.04
				MAINTENANCE SUPPLIES-BLDG			
		03	JANITORIAL SUPPLIES:DEPOT	01-80-920-43660			185.05
				MAINTENANCE SUPPLIES-BUILD			
						INVOICE TOTAL:	555.13
						VENDOR TOTAL:	555.13
00002383 NORTHERN TOOL & EQUIPMENT CO.							
33947289	10/18/15	01	AIR HAMMER REP'R PARTS:FIRE	01-70-730-43650		11/23/15	33.30
				MAINTENANCE SUPPLIES-EQUIP			
						INVOICE TOTAL:	33.30
						VENDOR TOTAL:	33.30
NORTHWTR NORTHWEST TRUCKS, INC							
360488	11/06/15	01	AIR FILTERS	01-80-860-43650		11/23/15	241.20
				MAINTENANCE SUPPLIES-EQUIP			
						INVOICE TOTAL:	241.20
						VENDOR TOTAL:	241.20

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DATE: 11/18/15
 TIME: 15:41:37
 ID: AP441000.WOW

== VILLAGE OF LAKE BLUFF ==
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
PCASH PETTY CASH							
NOV 2015	11/04/15	01	MISC PETTY CASH EXPENDITURES	01-60-680-43570		11/23/15	23.58
				OPERATING SUPPLIES			
		02	MISC PETTY CASH EXPENDITURES	01-60-650-40800			214.77
				BOARD/COMMITTEE RECOGNITIO			
		03	MISC PETTY CASH EXPENDITURES	01-70-710-42411			31.13
				MILEAGE EXPENSE			
		04	MISC PETTY CASH EXPENDITURES	01-70-710-42400			176.50
				TRAINING/EDUCATION			
		05	MISC PETTY CASH EXPENDITURES	01-70-710-42420			21.82
				UNIFORMS			
						INVOICE TOTAL:	467.80
						VENDOR TOTAL:	467.80
PRECSERV PRECISION SERVICE & PARTS, INC							
30IV069838	11/04/15	01	WIPER BLADES	01-70-710-43640		11/23/15	46.83
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	46.83
						VENDOR TOTAL:	46.83
QUILL QUILL CORP.							
9439080	11/09/15	01	OFFICE SUPPLIES:POLICE	01-70-710-43550		11/23/15	98.92
				OFFICE SUPPLIES			
		02	OFFICE SUPPLIES:VILL HALL	01-60-610-43550			139.60
				OFFICE SUPPLIES			
						INVOICE TOTAL:	238.52
						VENDOR TOTAL:	238.52
RICOH RICOH USA, INC							
5038860683	11/01/15	01	PUB WKS COPIER MAINT:	01-80-910-41200		11/23/15	1,812.32
				MAINTENANCE-EQUIPMENT			
		02	8/1-10/31/15	** COMMENT **			
						INVOICE TOTAL:	1,812.32
						VENDOR TOTAL:	1,812.32

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DATE: 11/18/15
 TIME: 15:41:37
 ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
RUSSOPOW RUSSO POWER EQUIPMENT							
2774541	11/17/15	01	1 PALLET ICE MELT	01-80-840-43580		11/23/15	416.50
				SNOW/ICE CONTROL MATERIALS			
						INVOICE TOTAL:	416.50
						VENDOR TOTAL:	416.50
SHERAUTO SHERIDAN AUTO PARTS							
882727	10/23/15	01	LATEX GLOVES	01-80-890-43230		11/23/15	154.90
				UTILITIES			
						INVOICE TOTAL:	154.90
883365	10/30/15	01	NITRILE GLOVES	01-80-890-43230		11/23/15	99.90
				UTILITIES			
						INVOICE TOTAL:	99.90
883444	10/30/15	01	WIPER BLADE/OIL FILTER	01-80-890-43650		11/23/15	47.12
				MAINTENANCE SUPPLIES-EQUIP			
						INVOICE TOTAL:	47.12
						VENDOR TOTAL:	301.92
SIKICH SIKICH, LLP							
232549	10/31/15	01	PAY #4 FY15 AUDIT	01-60-610-41304		11/23/15	1,275.00
				OTHER PROFESSIONAL SERVICE			
		02	PAY #4 FY15 AUDIT	46-80-800-41304			425.00
				OTHER PROFESSIONAL SERVICE			
						INVOICE TOTAL:	1,700.00
						VENDOR TOTAL:	1,700.00
SNAPONBR SNAP-ON TOOLS							
11021514144	11/02/15	01	VEHICLE SCANNER UPDATE	01-80-840-43640		11/23/15	999.01
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	999.01
						VENDOR TOTAL:	999.01

DATE: 11/18/15
TIME: 15:41:37
ID: AP441000.WOW

== VILLAGE OF LAKE BLUFF ==
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
STNDRDEQ STANDARD EQUIPMENT CO.							
CO8316	11/16/15	01	STREET SWEEPER CURB BRUSH	01-80-840-43640		11/23/15	120.55
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	120.55
						VENDOR TOTAL:	120.55
STAPLES STAPLES ADVANTAGE							
3281800692	10/24/15	01	OFFICE SUPPLIES:POLICE	01-70-710-43550		11/23/15	62.11
				OFFICE SUPPLIES			
						INVOICE TOTAL:	62.11
3282204995	10/29/15	01	OFFICE SUPPLIES:POLICE	01-70-710-43550		11/23/15	27.36
				OFFICE SUPPLIES			
						INVOICE TOTAL:	27.36
3282282328	10/30/15	01	OFFICE SUPPLIES:POLICE	01-70-710-43550		11/23/15	9.63
				OFFICE SUPPLIES			
						INVOICE TOTAL:	9.63
						VENDOR TOTAL:	99.10
STATEDIS STATE DISBURSEMENT UNIT							
11/12 PAYROLL DEDUCT	11/12/15	01	11/12 'EE PAYROLL DEDUCTION	01-20-102-51000		11/23/15	579.69
				WAGE ASSIGNMENT PAYABLE			
						INVOICE TOTAL:	579.69
						VENDOR TOTAL:	579.69
SWANTONK KATHLEEN SWANTON							
OCT 2015	11/16/15	01	FARMERS' MKT MANAGER:OCT 2015	01-60-650-44610		11/23/15	340.00
				FARMER'S MARKET			
						INVOICE TOTAL:	340.00
						VENDOR TOTAL:	340.00
TAPCOTRA TAPCO TRAFFIC & PARKING							

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DATE: 11/18/15
 TIME: 15:41:37
 ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
TAPCOTRA TAPCO TRAFFIC & PARKING							
I508680	11/10/15	01	STREET SIGN (ARBOR DR)	01-80-840-43691		11/23/15	64.54
				STREET SIGNS			
		02	STREET SIGN (ARDEN SHORE RD)	01-80-840-43691			116.58
				STREET SIGNS			
						INVOICE TOTAL:	181.12
						VENDOR TOTAL:	181.12
TECHSYS TECH SYSTEMS, INC.							
304811	11/01/15	01	FIRE RADIO MONITORING:PSB	01-70-930-41000		11/23/15	624.00
				MAINTENANCE-BUILDING			
		02	SECURITY MONITORING:PSB	01-70-930-41000			432.00
				MAINTENANCE-BUILDING			
		03	FIRE RADIO MONITORING:PUB WKS	01-80-910-41000			624.00
				MAINTENANCE-BUILDING			
		04	FIRE RADIO MONITORING:V HALL	01-60-900-41000			624.00
				MAINTENANCE-BUILDING			
		05	SECURITY MONITORING:V HLL	01-60-900-41000			432.00
				MAINTENANCE-BUILDING			
		06	12/27/15-12/26/16	** COMMENT **			
						INVOICE TOTAL:	2,736.00
						VENDOR TOTAL:	2,736.00
THEEXCHA THE CHEVY EXCHANGE							
41626	11/09/15	01	DOOR LOCK KNOB	01-70-710-43640		11/23/15	9.38
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	9.38
41627	11/09/15	01	BRAKE PADS/ROTORS	01-70-710-43640		11/23/15	201.00
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	201.00
41647	11/10/15	01	BALL JOINT	01-70-710-43640		11/23/15	53.68
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	53.68
						VENDOR TOTAL:	264.06

DATE: 11/18/15
TIME: 15:41:38
ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

THYBONY THYBONY							
210689	10/30/15	01	PAINT FOR SIGN POST	01-80-870-43680		11/23/15	28.60
				MAINTENANCE SUPPLIES-GROUN			
						INVOICE TOTAL:	28.60
						VENDOR TOTAL:	28.60
TRAFCONT TRAFFIC CONTROL & PROTECTION							
84935	11/06/15	01	STREE SIGN POSTS/ANCHORS	01-80-840-43691		11/23/15	900.00
				STREET SIGNS			
						INVOICE TOTAL:	900.00
						VENDOR TOTAL:	900.00
TWIGSFLO TWIGS FLORIST							
FLOWERS WEATHERALL	09/15/15	01	GET WELL WEATHERALL'S MOTHER	01-60-600-40900		11/23/15	100.00
				OTHER EMPLOYEE BENEFITS			
						INVOICE TOTAL:	100.00
FUNERAL FLWERS JUHL	10/24/15	01	FUNERAL FLOWERS PAST FF JUHL	01-70-730-40900		11/23/15	100.00
				OTHER EMPLOYEE BENEFITS			
						INVOICE TOTAL:	100.00
GET WELL MCCUTCHEON	09/09/15	01	GET WELL FLOWERS:MCCUTCHEON	01-70-711-40900		11/23/15	83.00
				OTHER EMPLOYEE BENEFITS			
						INVOICE TOTAL:	83.00
SOPHIE FUNERAL	09/17/15	01	FUNERAL FLOWERS:SOPHIE	01-60-600-40900		11/23/15	110.00
				OTHER EMPLOYEE BENEFITS			
						INVOICE TOTAL:	110.00
						VENDOR TOTAL:	393.00
UNCOFFEE UNITED COFFEE SERVICE, INC.							
552054	11/05/15	01	COFFEE & SUPPLIES:V HALL	01-60-900-43660		11/23/15	151.20
				MAINTENANCE SUPPLIES-BUILD			

DATE: 11/18/15
 TIME: 15:41:38
 ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
UNCOFFEE UNITED COFFEE SERVICE, INC.							
552054	11/05/15	02	2 (5) GAL BOTTLED WATER:V HALL	01-60-900-43660		11/23/15	15.70
				MAINTENANCE SUPPLIES-BUILD			
						INVOICE TOTAL:	166.90
552057	11/05/15	01	COFFEE SUPPLIES:POLICE	01-70-930-43660		11/23/15	6.80
				MAINTENANCE SUPPLIES-BLDG			
						INVOICE TOTAL:	6.80
						VENDOR TOTAL:	173.70
VERIZON WIRELESS							
9754771120	11/01/15	01	WIRELESS SRV:FIRE 10/2-11/1/15	01-70-730-43210		11/23/15	46.66
				TELEPHONE			
		02	WIRELESS SRV:POLICE	01-70-710-43210			384.09
				TELEPHONE			
		03	WIRELESS PH CREDIT:POLICE	01-70-710-45900			-100.00
				MINOR EQUIPMENT			
		04	WIRELESS SRV:PUB WKS	01-80-910-43210			307.77
				TELEPHONE			
		05	WIRELESS PH CREDIT:PUB WKS	01-80-910-45900			-100.00
				MINOR EQUIPMENT			
		06	WIRELESS SRV:ADMIN	01-60-600-43210			145.01
				TELEPHONE			
		07	WIRELESS PH CREDIT:ADMIN	01-60-600-45900			-100.00
				MINOR EQUIPMENT			
		08	WIRELESS SRV:COM DEVELOPMENT	01-60-680-43210			119.60
				TELEPHONE			
		09	SQD CAR WIRELESS ACCESS POLICE	01-70-710-43210			409.22
				TELEPHONE			
		10	CAD SYSTEM	** COMMENT **			
						INVOICE TOTAL:	1,112.35
						VENDOR TOTAL:	1,112.35

VISOGRAP VISOGRAPHIC INC

DATE: 11/18/15
 TIME: 15:41:38
 ID: AP441000.WOW

-- VILLAGE OF LAKE BLUFF --
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/23/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
VISOGRAP VISOGRAPHIC INC							
198393	10/30/15	01	#9 WATER BILL RETURN ENVELOPES	46-80-800-43400		11/23/15	263.50
			PRINTING				
						INVOICE TOTAL:	263.50
198394	10/30/15	01	#10 WATER BILL ENVELOPES	46-80-800-43400		11/23/15	351.75
			PRINTING				
						INVOICE TOTAL:	351.75
						VENDOR TOTAL:	615.25
WALLSTJO WALL STREET JOURNAL							
2016 WSJ	11/05/15	01	ANN'L RENEWAL:WSJ	01-60-610-42460		11/23/15	501.80
			PUBLICATIONS				
						INVOICE TOTAL:	501.80
						VENDOR TOTAL:	501.80
WELLSFAR WELLS FARGO BANK							
1251735	11/02/15	01	ESCROW AGENT FEE 2011 BONDS	46-95-100-41450		11/23/15	250.00
		02	11/1/15-4/30/16	BANK SERVICE CHARGES			
				** COMMENT **			
						INVOICE TOTAL:	250.00
						VENDOR TOTAL:	250.00
WENDTMAI WENDT MAINTENANCE							
2015 FALL CLEAN UP	10/29/15	01	FALL CLEAN UP:PSB	01-70-930-41050		11/23/15	1,571.67
			MAINTENANCE-GROUNDS				
		02	FALL CLEAN UP:VILL HALL	01-60-900-41050			1,571.67
			MAINTENANCE-GROUNDS				
		03	FALL CLEAN UP:DEPOT	01-80-920-41050			1,571.66
			MAINTENANCE-GROUNDS				
		04	FALL CLEAN UP:NORTH AVE PARK	01-80-870-41050			325.00
			MAINTENANCE GROUNDS				
						INVOICE TOTAL:	5,040.00
						VENDOR TOTAL:	5,040.00
						TOTAL ALL INVOICES:	221,464.20

DATE: 11/18/2015
TIME: 15:40:16
ID: AP443000.WOW

-- VILLAGE OF LAKE BLUFF --
DEPARTMENT SUMMARY REPORT

PAGE: 1

INVOICES DUE ON/BEFORE 11/23/2015

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE
GENERAL FUND			
10	ASSETS		
MINNLIFE	MINNESOTA LIFE	2,788.81	36.09
	ASSETS		36.09
20	LIABILITIES		
00000537	GEWALT HAMILTON ASSOC., INC.	124,314.65	342.00
CHITRICL	CHICAGO TRIBUNE	1,561.20	108.00
HOLLAND	HOLLAND & KNIGHT LLP	75,825.44	3,145.96
ICMA RET	ICMA RETIREMENT TRUST 457	52,689.10	4,305.76
IUOEADM	INT'L UNION OF OPER ENGINEERS	4,160.50	312.75
IUOEMEMB	INT'L UNION OF OPER ENGINEERS	1,082.84	82.39
POLPEN	LAKE BLUFF POLICE PENSION FUND	64,601.81	4,948.54
STATEDIS	STATE DISBURSEMENT UNIT	7,535.97	579.69
	LIABILITIES		13,825.09
60	ADMINISTRATION		
ADP	ADP INC.	5,497.16	191.75
ANDERPES	ANDERSON PEST CONTROL	1,017.04	44.29
BHFXLLC	BHFX LLC	980.43	18.50
CALLONE	CALL ONE	2,574.60	26.68
CHITRICL	CHICAGO TRIBUNE	1,561.20	461.60
GFOA	GOV'T FINANCE OFFICERS ASSN.	1,205.00	580.00
GLOBALCO	GLOBALCOM INC	2,672.92	202.41
GRIFFINS	SUSAN GRIFFIN	1,827.57	2,050.00
HARRIS	HARRIS	9,808.98	450.00
HOLLAND	HOLLAND & KNIGHT LLP	75,825.44	6,966.40
ICMACONF	INT'L CITY MANAGEMENT ASSN.	200.00	175.00
LF CITY	CITY OF LAKE FOREST	167,017.50	54,688.75
MINNLIFE	MINNESOTA LIFE	2,788.81	302.62
MORANTER	TERRY MORAN	800.00	100.00
NCCPETER	NCC PETERSEN PRODUCTS	3,022.26	185.04
PCASH	PETTY CASH	2,710.96	238.35
QUILL	QUILL CORP.	2,871.69	139.60
SIKICH	SIKICH, LLP	20,900.00	1,275.00
SWANTONK	KATHLEEN SWANTON	2,040.00	340.00
TECHSYS	TECH SYSTEMS, INC.	1,089.78	1,056.00
TWIGSFLO	TWIGS FLORIST	275.00	210.00
UNCOFFEE	UNITED COFFEE SERVICE, INC.	3,473.29	166.90
VERIZON	VERIZON WIRELESS	8,502.37	164.61

DATE: 11/18/2015
TIME: 15:40:16
ID: AP443000.WOW

-= VILLAGE OF LAKE BLUFF =-
DEPARTMENT SUMMARY REPORT

PAGE: 2

INVOICES DUE ON/BEFORE 11/23/2015

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE
GENERAL FUND			
60	ADMINISTRATION		
WALLSTJO	WALL STREET JOURNAL		501.80
WENDTMAI	WENDT MAINTENANCE	8,956.25	1,571.67
	ADMINISTRATION		72,106.97
70	PUBLIC SAFETY		
00002383	NORTHERN TOOL & EQUIPMENT CO.		33.30
AMERGAS	AMERICAN GASES CORP.	306.95	14.00
ATLFIRST	ATL FIRST AID, INC.	1,942.95	41.80
CALLONE	CALL ONE	2,574.60	170.46
CARQUEST	CARQUEST OF LIBERTYVILLE		398.27
COLOFDUP	COLLEGE OF DUPAGE	290.00	390.00
COMCAST	COMCAST CABLE	1,477.14	127.85
DAVE'SNO	DAVE'S NORTHSHORE TOWING, INC		325.00
ESSENEQU	ESSENTIAL EQUIPMENT SOLUTIONS	600.00	468.00
GLOBALCO	GLOBALCOM INC	2,672.92	202.39
GUSTERNA	NANCY GUSTERINE	245.35	55.76
HAVEYCOM	HAVEY COMMUNICATIONS, INC.	4,932.20	593.90
HOSKINGM	MICHAEL HOSKING		552.21
ILSTPOLI	ILLINOIS STATE POLICE	267.75	59.50
JGUNIFOR	J.G. UNIFORMS, INC.	169.15	80.57
LAKFORBP	LAKE FOREST BP	56.00	14.00
MINNLIFE	MINNESOTA LIFE	2,788.81	85.75
NCCPETER	NCC PETERSEN PRODUCTS	3,022.26	185.04
PCASH	PETTY CASH	2,710.96	229.45
PRECSERV	PRECISION SERVICE & PARTS, INC	3,305.09	46.83
QUILL	QUILL CORP.	2,871.69	98.92
STAPLES	STAPLES ADVANTAGE	3,144.62	99.10
TECHSYS	TECH SYSTEMS, INC.	1,089.78	1,056.00
THEEXCHA	THE CHEVY EXCHANGE	3,373.64	264.06
TWIGSFLO	TWIGS FLORIST	275.00	183.00
UNCOFFEE	UNITED COFFEE SERVICE, INC.	3,473.29	6.80
VERIZON	VERIZON WIRELESS	8,502.37	739.97
WENDTMAI	WENDT MAINTENANCE	8,956.25	1,571.67
	PUBLIC SAFETY		8,093.60
80	PUBLIC WORKS		
00000537	GEWALT HAMILTON ASSOC., INC.	124,314.65	2,155.75
00000855	LAKE BLUFF GARDEN CLUB	3,032.60	1,967.25

DATE: 11/18/2015
 TIME: 15:40:16
 ID: AP443000.WOW

-- VILLAGE OF LAKE BLUFF --
 DEPARTMENT SUMMARY REPORT

PAGE: 3

INVOICES DUE ON/BEFORE 11/23/2015

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE
GENERAL FUND			
80	PUBLIC WORKS		
AMERGAS	AMERICAN GASES CORP.	306.95	227.84
BAXTWOOD	BAXTER & WOODMAN	43,875.70	1,197.50
BUCKBROS	BUCK BROTHERS, INC.	474.52	10.53
BURKECHR	CHRISTOPHER BURKE ENGINEERING	74,400.57	29,119.48
CALLONE	CALL ONE	2,574.60	170.46
COMED	COM ED	33,682.89	599.00
DECKWERK	DECKWERKS INC.	15,000.00	3,700.00
DKORGAN	DK ORGANICS, LLC	20,490.38	6,738.16
DUROWELD	DUROWELD CO., INC.		585.90
GLOBALCO	GLOBALCOM INC	2,672.92	44.97
GROOT	GROOT INDUSTRIES	272,716.80	45,452.80
HAMPTONL	HAMPTON, LENZINI & RENWICK INC	1,417.00	2,603.00
HOMEDEPO	HOME DEPOT CREDIT SERVICES	24.97	24.97
ISA	INT'L SOCIETY OF ARBORICULTURE		175.00
LAWSONPR	LAWSON PRODUCTS, INC.	2,096.04	116.25
LCHOSE	LAKE COUNTY HOSE AND EQUIPMENT	191.17	33.07
LECHNER	LECHNER & SONS UNIFORM RENTAL	1,685.82	109.64
LFACUTE	LAKE FOREST ACUTE CARE	2,091.53	119.00
NCCPETER	NCC PETERSEN PRODUCTS	3,022.26	185.05
NORTHWTR	NORTHWEST TRUCKS, INC	472.40	241.20
RICOH	RICOH USA, INC	3,612.94	1,812.32
RUSSOPOW	RUSSO POWER EQUIPMENT	281.81	416.50
SHERAUTO	SHERIDAN AUTO PARTS	1,026.21	301.92
SNAPONBR	SNAP-ON TOOLS	205.14	999.01
STNDRDEQ	STANDARD EQUIPMENT CO.	251.34	120.55
TAPCOTRA	TAPCO TRAFFIC & PARKING	295.20	181.12
TECHSYS	TECH SYSTEMS, INC.	1,089.78	624.00
THYBONY	THYBONY	95.74	28.60
TRAFCONT	TRAFFIC CONTROL & PROTECTION		900.00
VERIZON	VERIZON WIRELESS	8,502.37	207.77
WENDTMAI	WENDT MAINTENANCE	8,956.25	1,896.66

PUBLIC WORKS 103,065.27

EMERGENCY 911 SURCHARGE

70 PUBLIC SAFETY

AT & T AT & T 18,335.62 617.34

PUBLIC SAFETY 617.34

REDEVELOPMENT PROGRAM FUND

DATE: 11/18/2015
TIME: 15:40:16
ID: AP443000.WOW

-- VILLAGE OF LAKE BLUFF --
DEPARTMENT SUMMARY REPORT

PAGE: 4

INVOICES DUE ON/BEFORE 11/23/2015

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE
REDEVELOPMENT PROGRAM FUND			
80	PUBLIC WORKS		
BAXTWOOD	BAXTER & WOODMAN	43,875.70	6,660.00
BURKECHR	CHRISTOPHER BURKE ENGINEERING	74,400.57	7,778.89
	PUBLIC WORKS		14,438.89
WATER FUND			
80	PUBLIC WORKS		
AT & T	AT & T	18,335.62	92.05
CARQUEST	CARQUEST OF LIBERTYVILLE		631.92
COMED	COM ED	33,682.89	123.16
HDSUPPLY	HD SUPPLY WATERWORKS, LTD	9,993.72	7,006.57
HOLLAND	HOLLAND & KNIGHT LLP	75,825.44	135.00
LECHNER	LECHNER & SONS UNIFORM RENTAL	1,685.82	2.00
SIKICH	SIKICH, LLP	20,900.00	425.00
VISOGRAP	VISOGRAPHIC INC	12,411.26	615.25
	PUBLIC WORKS		9,030.95
95	DEBT SERVICE		
WELLSFAR	WELLS FARGO BANK	250.00	250.00
	DEBT SERVICE		250.00
	TOTAL ALL DEPARTMENTS		221,464.20

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 7a

Subject: REQUEST FROM LAKE BLUFF SCHOOL DISTRICT 65 TO WAIVE DEVELOPMENT FEES FOR PLANNED RENOVATIONS OF LAKE BLUFF MIDDLE SCHOOL LOCATED AT 31 E. SHERIDAN PLACE

Action Requested: CONSIDERATION OF THE REQUEST (Voice Vote)

Originated By: VILLAGE STAFF

Referred To: VILLAGE BOARD

Summary of Background and Reason For Request:

On November 17, 2015 the Village received the attached letter from Superintendent of Schools Dr. Jean Sophie, requesting a waiver of all fees associated with the following capital projections/renovations: i) complete renovation of the entire existing Lake Bluff Middle School building with the exception of the band room and the gym, ii) addition of a wing that will house the fine arts classes as well as a wing that will house an additional five classrooms that allows us to get most classrooms out of the existing basement, iii) a storage facility housed on the current Lake Bluff Middle School site in the southwest corner of the lot, and iv) renovation of the current basement at Lake Bluff Middle School that allows the District Offices to move into that existing space. While the Regional Office of Education for Lake County will be issuing the building permit and occupancy permit associated with this project, the School District must follow the Village's development review process and pay the associated fees as a petitioner. It is estimated that, without a waiver, the development fees for the project will total \$3,000.

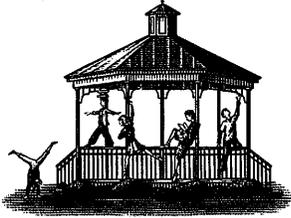
Similar requests have been considered on a case-by-case basis for other non-profit and governmental organizations.

Reports and Documents Attached:

- A Copy of the Letter Dated November 12, 2015.

Village Administrator's Recommendation: Consideration of the Request.

Date Referred to Village Board: 11/23/2015



Lake Bluff School District 65

Excellence in Education, Enthusiasm for Life, Every Student, Every Day.

November 12, 2015



Board of Education

Mark Barry
President

John Marozsan
Vice President

Leigh Ann Charlot
Secretary

Julie Gottshall

Richard Hegg

Philip Hood

Susan Rider-Porter

Mr. Drew Irvin, Village Administrator
Village of Lake Bluff
40 E. Center Avenue
Lake Bluff, IL 60044

BY:

Dear Drew:

Lake Bluff Elementary School District 65 is planning a major renovation of Lake Bluff Middle School beginning in February of 2016 with a scheduled end date of Labor Day 2016. The school district is respectfully requesting a waiver of all permit fees associated with the following capital projections/renovations:

- Complete renovation of the entire existing Lake Bluff Middle School building with the exception of the Band Room and the Gym
- Addition of a wing that will house the Fine Arts classes as well as a wing that will house an additional 5 classrooms that allows us to get most classrooms out of the existing basement
- A storage facility housed on the current Lake Bluff Middle School site in the southwest corner of the lot
- Renovation of the current basement at Lake Bluff Middle School that allows our District Offices to move into that existing space

On behalf of Lake Bluff Elementary School District 65, we appreciate your consideration of this fee waiver request.

Sincerely,


Mark Barry
Board of Education President

Cc: Lake Bluff ESD 65 Board of Education
Dr. Jean Sophie, Superintendent of Schools

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 11

Subject: AN ORDINANCE AMENDING ORDINANCES 98-25, 2004-10 AND 2010-27 CONCERNING THE EXISTING SPECIAL USE PERMIT FOR THE PERSONAL WIRELESS FACILITY AT THE PUBLIC SAFETY BUILDING (45 E. CENTER AVENUE)

Action Requested: SECOND READING APPROVAL (Roll Call Vote)

Originated By: T-MOBILE CENTRAL, LLC & VILLAGE OF LAKE BLUFF (Co-Petitioners)

Referred To: PLAN COMMISSION & ZONING BOARD OF APPEALS ARCHITECTURAL BOARD OF REVIEW

Summary of Background and Reason For Request:

Over the past year the Village has negotiated an amendment to the site agreement with Crown Castle so as to allow T-Mobile to install additional communications equipment and antennae on the Village's existing monopole behind the Public Safety Building (PSB). In preparation of adding the T-Mobile service equipment to the existing monopole, the Village and T-Mobile filed a zoning petition (as Co-Petitioners) seeking an amendment to the existing Special Use Permit (SUP). On October 21, 2015 the Plan Commission and Zoning Board of Appeals (PCZBA) conducted a public hearing and unanimously recommended the Village Board approve the amendment to the SUP for additional wireless antennae and related equipment. At its meeting on November 3rd the Architectural Board of Review (ABR) conducted a public hearing and unanimously recommended the Village Board approve the following changes to the cell tower site plan:

- Installation of new antennae equipment placed at a height of 123 ft. above the ground;
- All new equipment match the existing color of the monopole; and
- Installation of any non-antennae equipment not exceed the height of the existing brick enclosure at the rear of the PSB.

The Village Board approved first reading of the ordinance at its meeting on November 9, 2015

Reports and Documents Attached:

- Ordinance Amending Existing SUP for the Telecommunications Tower

The following documents were provided as part of the November 9th Village Board Agenda Packet:

- Zoning Application and Site Plan Documents;
- PCZBA Staff Report Dated October 16, 2015 (without attachments); and
- ABR Staff Report Dated October 30, 2015 (without attachments).

PCZBA's Recommendation:	Approval of the Ordinance.
ABR's Recommendation:	Approval of the Ordinance.
Village Administrator's Recommendation:	Second Reading Approval of the Ordinance.

Date Referred to Village Board: 11/23/2015

ORDINANCE NO. 2015-__

**AN ORDINANCE AMENDING ORDINANCES 98-25, 2004-10 AND 2010-27 CONCERNING
THE EXISTING SPECIAL USE PERMIT FOR THE PERSONAL WIRELESS FACILITY AT
THE PUBLIC SAFETY BUILDING (45 E. CENTER AVENUE)**

(Public Safety Building, 45 E. Center Avenue)

Passed by the Board of Trustees, _____, 2015

Printed and Published, _____, 2015

Printed and Published in Pamphlet Form
by Authority of the
President and Board of Trustees

VILLAGE OF LAKE BLUFF
LAKE COUNTY, ILLINOIS

I hereby certify that this document
was properly published on the date
stated above.

Village Clerk

ORDINANCE NO. 2015-__

AN ORDINANCE AMENDING ORDINANCES 98-25, 2004-10 AND 2010-27 CONCERNING THE EXISTING SPECIAL USE PERMIT FOR THE PERSONAL WIRELESS FACILITY AT THE PUBLIC SAFETY BUILDING (45 E. CENTER AVENUE)

(Public Safety Building, 45 E. Center Avenue)

WHEREAS, the Village operates a personal wireless services antenna tower ("**Tower**") on the property owned by the Village and used as the Village's public safety facility ("**Facility**"), which property is located at 45 East Center Avenue in the Village's "CBD" Central Business District and is legally described in **Exhibit A** to this Ordinance ("**Subject Property**"); and,

WHEREAS, the Village received a special use permit pursuant to Ordinance 98-25 to operate the Tower and related facilities at the Facility ("**Special Use Permit**"), which special use permit was amended pursuant to Ordinance 2004-10 and 2012-27 to allow additional wireless services providers to locate equipment on the Tower; and,

WHEREAS, the Village and co-applicant T-Mobile Central LLC (collectively, "**Applicant**"), desire to install additional antennas and related equipment for use by T-Mobile on and around the Tower (collectively, the "**T-Mobile Improvements**"); and,

WHEREAS, following a public hearing, the Joint Plan Commission and Zoning Board of Appeals has recommended, and the Board of Trustees has determined, that it would be in the best interest of the Village to approve the Improvements and amend the Special Use Permit in accordance with, and subject to, the conditions, restrictions, and provisions of this Ordinance; and,

WHEREAS, the Lake Bluff Architectural Board of Review has reviewed the plans, drawings, specifications, and other documents and materials submitted to them by the Applicant concerning the T-Mobile Improvements at a public meeting on November 2, 2015; and,

WHEREAS, the Village Board has determined that it is in the best interest of the Village and its residents to amend the Special Use Permit as set forth in this ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS, AS FOLLOWS:

Section 1. Recitals.

The foregoing recitals are incorporated herein as the findings of the Lake Bluff Board of Trustees.

Section 2. Public Hearing.

A public hearing to consider the application for the T-Mobile Improvements was duly advertised on or before October 6, 2015, in the *Lake County News-Sun*, and held by the Lake Bluff Joint Plan Commission and Zoning Board of Appeals on October 21, 2015, on which date the PCZBA recommended that the Board of Trustees approve amending the Special Use Permit to allow for the construction and installation of the T-Mobile Improvements subject to the conditions set forth in Section 5 of this Ordinance.

Section 3. Special Use Permit Amendment Approval.

Pursuant to the standards and procedures set forth in Section 10-4-2E and 10-6A-2 of the Lake Bluff Zoning Regulations and subject to and contingent on the conditions in Section 5 this Ordinance, the Board of Trustees hereby approves an amendment to the Special Use Permit for the installation and operation of the T-Mobile Improvements at the Facility on the Subject Property.

Section 4. Conditions.

The approvals granted in Sections 3 and 4 of this Ordinance are hereby expressly subject to and contingent on each of the following conditions, restrictions, and provisions:

A. Compliance with Application. The T-Mobile Improvements, the Facility, and the Subject Property must be constructed, used, and maintained in substantial accordance with the Applicant's October 6, 2015, Zoning Application and accompanying documents attached to this Ordinance as ***Exhibit C***.

B. Compliance with Applicable Law. In addition to the other specific requirements of this Ordinance, the T-Mobile Improvements, the Facility, the Subject Property, and all operations conducted thereon and therein must comply at all times with all applicable federal, state, and Village statutes, ordinances, resolutions, rules, codes, and regulations, including without limitation this Ordinance.

C. Continued Effect. All provisions of Ordinances 98-25, 2004-10, and 2012-27 that do not directly conflict with the provisions of this Ordinance remain in full force and effect. To the extent any conflict exists between Ordinances 98-25, 2004-10, 2012-27 and this Ordinance regarding the T-Mobile Improvements, this Ordinance shall control.

D. Equipment Placement. All equipment located at the base of the tower shall be installed within the brick enclosure located at the rear of the Facility and shall not exceed the height of the brick wall.

Section 5. Failure To Comply With Conditions.

Upon failure or refusal of the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, the approvals granted in Sections 3 and 4 of this Ordinance will, at the sole discretion of the Village Board of Trustees, by ordinance duly adopted, be revoked and become null and void.

Section 6. Binding Effect.

The privileges, obligations, and provisions of each and every section of this Ordinance are for the benefit of and bind the Applicant, unless otherwise explicitly set forth in this Ordinance. Nothing in this Ordinance will be deemed to allow this Ordinance to be transferred to any person or entity other than the Applicant without a new application for approval.

Section 7. Effective Date.

A. This Ordinance will be effective only upon the occurrence of all of the following events:

- i. Passage by the Board of Trustees of the Village of Lake Bluff in the manner required by law; and
- ii. Publication in pamphlet form in the manner required by law; and
- iii. The filing by the Applicant with the Village Clerk, for recording in the Office of the Lake County Recorder of Deeds, of an unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance. The unconditional agreement and consent must be executed by the Applicant. The unconditional agreement and consent must be substantially in the form attached hereto and incorporated herein as **Exhibit D**.

B. In the event that the Applicant does not file with the Village Clerk the unconditional agreement and consent required by Paragraph 8.A(iii) of this Ordinance within 60 days after the date of final passage of this Ordinance, the Village Board of Trustees will have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

PASSED this ___ day of _____, 2015, by vote of the Board of Trustees of the Village of Lake Bluff, as follows:

AYES:

NAYS:

ABSTAIN:

ABSENT:

APPROVED this ___ day of _____, 2015.

Village President

ATTEST:

Village Clerk

FIRST READING: November 9, 2015

SECOND READING: _____

PASSED: _____

APPROVED: _____

PUBLISHED IN PAMPHLET FORM: _____

Exhibit A

Description of Subject Property

PT SW 1/4 NW 1/4; IRREG TRACT OF LAND CONTAINING 1.75 ACS. LYG N OF ARTESIAN LAKE PARK & S OF NORTH ADD TO LAKE BLUFF SECTION 21 TOWNSHIP 44 RANGE 12

PIN # 12-21-100-003

Commonly known as the Public Safety Building, 45 E. Center Avenue, Lake Bluff, IL

Exhibit B
Zoning Application

Exhibit C

Applicant's Unconditional Agreement and Consent

TO: The Village of Lake Bluff, Illinois ("**Village**");

WHEREAS, the Village operates a personal wireless services antenna tower ("**Tower**") on the property owned by the Village and used as the Village's public safety facility ("**Facility**"), which property is located at 45 East Center Avenue in the Village's "CBD" Central Business District and is legally described in **Exhibit A** to this Ordinance ("**Subject Property**"); and,

WHEREAS, the Village received a special use permit pursuant to Ordinance 98-25 to operate the Tower and related facilities at the Facility ("**Special Use Permit**"), which special use permit was amended pursuant to Ordinance 2004-10 and 2012-27 to allow additional wireless services providers to locate equipment on the Tower; and,

WHEREAS, the Village and co-applicant T-Mobile Central LLC (collectively, "**Applicant**"), desire to install additional antennas and related equipment for use by T-Mobile on and around the Tower (collectively, the "**T-Mobile Improvements**"); and,

WHEREAS, following a public hearing, the Joint Plan Commission and Zoning Board of Appeals has recommended, and the Board of Trustees has determined, that it would be in the best interest of the Village to approve the Improvements and amend the Special Use Permit in accordance with, and subject to, the conditions, restrictions, and provisions of this Ordinance; and,

WHEREAS, Ordinance No. _____, adopted by the President and Board of Trustees of the Village of Lake Bluff on _____, 2015, ("**Ordinance**") approves the requested amendment to the Special Use Permit for the Property, subject to certain modifications, conditions, restrictions, and provisions; and,

WHEREAS, Subsection 7.B of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Applicant files with the Village Clerk, within 60 days following the passage of the Ordinance, its unconditional agreement and consent to accept and abide by each of the terms, conditions and limitations set forth in said Ordinance.

NOW, THEREFORE, the Applicant does hereby agree and covenant as follows:

1. The Applicant hereby unconditionally agrees to accept, consent to, and abide by all of the terms, conditions, restrictions, and provisions of the Ordinance.
2. The Applicant acknowledges that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, has considered the possibility of the revocation provided for in the Ordinance, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.
3. The Applicant acknowledges and agrees that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's issuance of any permits for the use of the T-Mobile Improvements, the Facility, and the Subject Property, including, without limitation, the special use permit approved in the Ordinance, and that the Village's issuance of any such permits or approvals does not, and will not, in any way, be deemed to insure the Applicant against damage or injury of any kind and at any time.

4. The Applicant agrees to and does hereby hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the operation and use of the T-Mobile Improvements, the Facility, or the Subject Property, or the Village's adoption of the Ordinance.

Dated: _____, 2015.

ATTEST:

VILLAGE OF LAKE BLUFF

By: _____

By: _____

Its: _____

Its: _____

ATTEST:

T-MOBILE CENTRAL LLC

By: _____

By: _____

Its: _____

Its: _____

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 12

Subject: AN ORDINANCE ADOPTING BY REFERENCE THE LAKE COUNTY
WATERSHED DEVELOPMENT ORDINANCE

Action Requested: FIRST READING APPROVAL (Roll Call Vote)

Originated By: VILLAGE STAFF

Referred To: VILLAGE BOARD

Summary of Background and Reason For Request:

In 1992 the County of Lake adopted a comprehensive Watershed Development Ordinance (WDO) for purposes of setting forth minimum requirements for the stormwater aspects of development throughout Lake County. Each municipality within Lake County was required to adopt and enforce the provisions of the Ordinance. In response, Lake Bluff adopted the WDO for the first time on October 12, 1992. Since the time of the initial adoption, the WDO has been amended countywide on seven separate occasions, most recently in 2013. On October 13, 2015 the Lake County Board adopted the amended countywide WDO. Following the most recent amendments, the Lake County Stormwater Management Commission notified all municipalities in Lake County, including Lake Bluff, that they must adopt the newly amended version of the Ordinance by February 17, 2016.

The amended WDO has been reformatted to make it more user friendly including revisions to the Federal Emergency Management Agency (FEMA) map effective dates and panel numbers, as well as various other revisions. Adoption of the updated WDO is necessary in order for Lake Bluff to remain in good standing in the FEMA National Flood Insurance Program (NFIP) and to maintain Lake Bluff's community certification status with the Lake County Stormwater Management Commission. The amendments do not result in any major change to the overall administration and enforcement of the WDO. The Village Engineer recommends approval of the Ordinance with second reading of the ordinance to follow after 30 days.

Reports and Documents Attached:

1. A Copy of the Proposed Ordinance;
2. Listing of new amendments to the WDO;
3. Updated version of the WDO available for viewing at:
[http://www.lakecountyil.gov/Stormwater/Documents/Regulatory/WDO%202015/10-13-2015%20Watershed%20Development%20Ordinance%20\(WDO\).pdf](http://www.lakecountyil.gov/Stormwater/Documents/Regulatory/WDO%202015/10-13-2015%20Watershed%20Development%20Ordinance%20(WDO).pdf)

Village Administrator's Recommendation: Approval of the Ordinance.

Date Referred to Village Board: 11/23/2015

VILLAGE OF LAKE BLUFF

ORDINANCE NO. 2016 - _____

**AN ORDINANCE ADOPTING BY REFERENCE OF THE LAKE COUNTY
WATERSHED DEVELOPMENT ORDINANCE**

**ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE
VILLAGE OF LAKE BLUFF**

THIS ____ DAY OF JANUARY, 2016.

**PUBLISHED IN PAMPHLET FORM BY THE AUTHORITY OF THE PRESIDENT AND
BOARD OF TRUSTEES OF THE VILLAGE OF LAKE BLUFF ILLINOIS,
THIS ____ DAY OF JANUARY, 2016.**

ORDINANCE NO. 2016 - _____

**AN ORDINANCE ADOPTING BY REFERENCE OF THE LAKE COUNTY
WATERSHED DEVELOPMENT ORDINANCE**

WHEREAS, the County of Lake, pursuant to the powers granted to it by 55 ILCS 5/5- 1062, adopted the Lake County Watershed Development Ordinance on or about October 13, 2015, effective October 13, 2015, establishing rules and regulations for floodplain and stormwater management throughout the County of Lake and superseding any less restrictive municipal rules and regulations therein; and,

WHEREAS, the President and Board of Trustees of the Village of Lake Bluff have previously adopted Ordinances No. 2013-18, which adopted by reference the Lake County Watershed Development Ordinances; and,

WHEREAS, the County of Lake, pursuant to the powers granted to it by 55 ILCS 5/5-1062, adopted a resolution approving amendments to the Lake County Watershed Development Ordinance on or about October 13, 2015, effective immediately; and,

WHEREAS, the President and Board of Trustees of the Village of Lake Bluff find it to be in the best interests of the Village of Lake Bluff to require all development to meet, at least, the minimum standards prescribed by the WDO to the fullest extent practicable; and,

WHEREAS, three copies of the Lake County Watershed Development Ordinance have been on file in the Office of the Village Clerk of the Village of Lake Bluff, and available for inspection, for not less than thirty (30) days.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Lake Bluff, Lake County, Illinois, as follows:

SECTION I: That there is hereby adopted by reference, as if fully set out herein, that certain ordinance known as the Lake County Watershed Development Ordinance, approved as amended by the County of Lake, State of Illinois, three copies of which have been, for a period of not less than thirty (30) days prior to the effective date hereof, and now are on file in the office of the Village Clerk.

SECTION II: That in the event that the rules, regulations, terms or conditions imposed pursuant to the Lake County Watershed Development Ordinance are either more restrictive or less restrictive than comparable rules, regulations, terms or conditions imposed by any other applicable rule, regulation, resolution, ordinance, statute or law, then the most restrictive rules, regulations, terms or conditions shall govern.

SECTION III: That Title 12 Chapter 1 of the Village Code of the Village of Lake Bluff is amended by deleting existing Section 1, and replacing it with the following:

*****: COUNTY REGULATIONS ADOPTED:**

The Lake County Watershed Development Ordinance, as most recently amended by the County of Lake on October 13, 2015, is hereby adopted by reference and is in full force and effect within the Village of Lake Bluff and is found in its own compilation.

SECTION IV: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION V: That this Ordinance shall be in full force and effect ten (10) days after its passage, approval and publication in pamphlet form, as provided by law.

PASSED and approved by the President and Board of Trustees
of the Village of Lake Bluff, Lake County, Illinois,
this ____ day of January, 2016 by a roll call vote as follows:

<u>TRUSTEES</u>	<u>AYE</u>	<u>NAY</u>	<u>ABSENT/ABSTAIN</u>
1. Christensen	_____	_____	_____
2. Dewart	_____	_____	_____
3. Grenier	_____	_____	_____
4. Josephitis	_____	_____	_____
5. Meyer	_____	_____	_____
6. Ankenman	_____	_____	_____

APPROVED THIS ____ DAY OF JANUARY, 2016;

By: _____
PRESIDENT
VILLAGE OF LAKE BLUFF

ATTEST:

Village Clerk

Exhibit A

**Administrative
WDO Re-formatting**

Purpose: Under direction by the State's Attorney's Office, the WDO has been re-formatted. An improved referencing system is used and certain sections have been re-located and aligned making the entire document more user friendly, understandable, which can be quickly and logically referenced (for legal and general application). No substantive changes are included in the re-formatted WDO. A section cross-reference table is separately attached.

**Administrative
WDO Amendment #1
Page 82 – Article V.B.**

B. APPEALS

1. Any permit applicant aggrieved by the denial or conditions of a Watershed Development Permit, Earth Change Approval, Conditional Approval, or Variance by a Certified Community's Enforcement Officer may request review thereof by the Certified Community's board of elected officials or the appropriate body within 30 days of the disputed act or actions.
2. Any permit applicant aggrieved by **a permit decision**, the denial or conditions of a Watershed Development Permit, Earth Change Approval, Conditional Approval, or Variance by the SMC Chief Engineer may request review thereof by the SMC Director within 30 days of the disputed act or actions.
3. Any permit applicant aggrieved by **a permit decision**, the denial or conditions of a Watershed Development Permit, Earth Change Approval, Conditional Approval, or Variance by the SMC Director may appeal it to the SMC by written notice filed with the SMC Director within 30 days of the disputed act or actions.

Purpose: Clarify standard administrative process for SMC-reviewed permits and approvals.

**Administrative
WDO Amendment #2
Page 87 – Article VII.F.**

- (i) F. The SMC may enforce violations of this Ordinance in accordance with the Lake County Administrative Adjudication Ordinance.*

Purpose: Improve compliance efficiencies using the Administrative Adjudication process as an additional compliance tool. Staff have conferred with the Lake County State's Attorney's Office and determined that an Ordinance amendment is necessary in order for SMC to use the process.

Exhibit A

WDO Amendment #3

Page 99 - Appendix A: Definitions

Isolated Waters of Lake County: All waters such as lakes, ponds, streams (including intermittent streams), farmed wetlands, and wetlands that are not under U.S. Army Corps of Engineers jurisdiction. The limits of the Isolated Waters of Lake County extend to the ordinary high water mark or the delineated wetland boundary.

- a. The following are excluded from Isolated Waters of Lake County, **as determined by the Enforcement Officer**:
 - (1) Excavations and impoundments that have received a permit from the appropriate jurisdictional authority.
 - (2) Excavations and impoundments permitted by right, prior to being a regulated activity, within 40% or more non-hydric soils. Areas designated as 'water' as depicted on the Soil Survey of Lake County, SCS, 1970 are determined as either hydric or non-hydric soils by connecting adjoining soil boundaries to create complete polygons of the depicted soil type.
 - (3) Wetlands created incidental to construction grading on development sites. **that have received a Watershed Development Permit or meet the criteria of Article IV.A.2.a**
 - (4) Roadside ditches.
- b. The following shall not be considered as meeting the exclusion criteria in a. above:
 - (1) All areas meeting the definition of high-quality aquatic resources.
 - (2) Wetland mitigation areas created to meet the requirements of this Ordinance or Section 404 of the Clean Water Act.
 - (3) Wetland areas created or restored using public funds.

Purpose: Per legal review, clarify determination is made by EO. For a.(3) record retention policies vary among units of government and documents are not always kept, available, or easily obtained. EO has discretion to make a determination that the wetland was "created" due to construction grading on a development site.

FEMA/NFIP Map Updates

WDO Amendment #4

Pages 108-116 – Appendix C: FEMA Flood Insurance Study Maps and Profiles

(SEE WDO APPENDIX C)

Purpose: Modify FEMA map effective dates and panel numbers.

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 13

Subject: A PUBLIC HEARING REGARDING YEAR 2015 PROPERTY
TAX LEVY

Action Requested: CONDUCT PUBLIC HEARING

Originated By: FINANCE COMMITTEE

Referred To: VILLAGE BOARD

Summary of Background and Reason For Request:

The Village of Lake Bluff, in keeping with past practice, will conduct a public hearing on the proposed YR 2015 property tax levy. Finance Director Griffin will present information on the Finance Committee's tax levy recommendation. The hearing notice was published in the Lake County News Sun on November 13, 2015 and on the Village's website on October 30, 2015.

Refer to the subsequent two agenda items for the proposed tax levy information and ordinances.

Reports and Documents Attached:

- A Copy of the Public Hearing Notice.

Date Referred to Village Board: 11/23/2015

**NOTICE
VILLAGE OF LAKE BLUFF
2015 PROPERTY TAX LEVY PUBLIC HEARING**

The Village Board of Trustees will begin discussions regarding the 2015 Property Tax Levy at the Board meeting on November 23, 2015.

The Village will hold a public hearing on the 2015 Property Tax Levy in the Village Hall Board Room, 40 E. Center Ave., Lake Bluff, Illinois, on November 23, 2015 at 7:00 p.m., or as soon thereafter as the business of the Board shall permit. Anyone desiring to be heard on said matter should appear at said time and place. After the public hearing the 2015 Property Tax Levy Ordinance may be further revised and passed without any further inspection, notice, or hearing.

On behalf of the Village President and Board of Trustees:

October 28, 2015
R. DREW IRVIN
VILLAGE ADMINISTRATOR
11/13/2015 3751135

**NOTICE
VILLAGE OF LAKE BLUFF
2015 PROPERTY TAX LEVY PUBLIC HEARING**

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On behalf of the Village President and Board of Trustees.

October 28, 2015
R. DREW IRVIN
VILLAGE ADMINISTRATOR

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 14

Subject: AN ORDINANCE LEVYING PROPERTY TAXES FOR THE FISCAL YEAR BEGINNING MAY 1, 2015 AND ENDING APRIL 30, 2016 FOR THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS (First Reading)

Action Requested: FIRST READING APPROVAL OF THE ORDINANCE (Roll Call Vote)

Originated By: FINANCE DIRECTOR

Referred To: FINANCE COMMITTEE

Summary of Background and Reason For Request:

Pursuant to State law, on or before the last Tuesday in December, the Village must file with the County Clerk an Ordinance requesting a property tax to be levied on all taxable property within the Village. After review of levy estimates and financial projections as presented by staff, the Finance Committee recommends that the Village levy \$3,193,412 for the year 2015, which represents a 1.388% increase over the 2014 property tax extension.

The Lake Bluff Public Library Board has requested a property tax levy of \$886,048 for the year 2015, which is a 1.39% increase over the previous year.

The total levy amount of \$4,079,460 is in compliance with the Property Tax Limitation and Truth In Taxation Acts.

Reports and Documents Attached:

1. A Copy of the Ordinance;
2. Tax Levy Calculation Schedule; and
3. Tax Levy by Fund Comparison Schedule.

Village President's Recommendation:

Village Administrator's Recommendation: Approval of the Ordinance

Date Referred to Village Board: 11/23/2015

ORDINANCE NO. 2015

**AN ORDINANCE LEVYING TAXES FOR THE FISCAL YEAR
BEGINNING MAY 1, 2015 AND ENDING APRIL 30, 2016
FOR THE VILLAGE OF LAKE BLUFF**

Passed by the Board of Trustees,

Printed and Published,

Printed and Published in Pamphlet Form
by Authority of the
President and Board of Trustees

VILLAGE OF LAKE BLUFF
LAKE COUNTY, ILLINOIS

I hereby certify that this document
was properly published on the date
stated above.

Village Clerk

**AN ORDINANCE LEVYING TAXES FOR THE FISCAL YEAR
BEGINNING MAY 1, 2015 AND ENDING APRIL 30, 2016
FOR THE VILLAGE OF LAKE BLUFF**

WHEREAS, the President and Board of Trustees of the Village of Lake Bluff, in the County of Lake, and State of Illinois, did, on the 23rd day of March, 2015 adopt and approve the Budget for said Village for the fiscal year commencing May 1, 2015 and ending April 30, 2016; and,

WHEREAS, the President and Board of Trustees has determined that it is necessary to levy a property tax on all taxable property located within the Village.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS, as follows:

SECTION 1. 2015 PROPERTY TAX LEVY.

That there be and is hereby levied on all taxable property within the corporate limits of said Village for the fiscal year commencing May 1, 2015 and ending April 30, 2016, the sum of six hundred eighty-three thousand, two hundred sixty-two and no/100’s dollars (\$683,262) for General Corporate purposes, and the sum of three million, three hundred ninety-six thousand, one hundred ninety-eight and no/100’s dollars (\$3,396,198) for Special Purposes, making a combined levy of four million, seventy-nine thousand, four hundred sixty and no/100’s dollars (\$4,079,460) as hereinafter set forth.

SECTION 2. GENERAL CORPORATE PURPOSE LEVY.

That there be and is hereby levied on all taxable property within the corporate limits of said Village for the fiscal year commencing May 1, 2015 and ending April 30, 2016, the sum of six hundred eighty-three thousand, two hundred sixty-two and no/100’s dollars (\$683,262) for General Corporate purposes.

<u>Description</u>	<u>Budget</u> ¹	<u>Levy</u>
Administration Division:		
Personal Services ²	\$389,040	\$ 194,520
Contractual Serv/Commodities	503,315	125,829
Capital	15,000	12,000
Other	454,293	-0-
Total	\$1,361,648	\$ 332,349
Finance Division:		
Personal Services	\$310,650	\$ 155,325
Contractual Serv/Commodities ³	72,425	18,106
Capital	5,600	-0-
Other	40,000	-0-
Total	\$428,675	\$ 173,431

¹ Unemployment, liability insurance and the audit levy are shown separately in this Ordinance – see footnotes 2&3 – but in the budget document the amounts are allocated to each division in the General fund. The budget numbers reflected in this Ordinance do not include the Water Fund or the 2012 G.O. Refunding Debt Fund.

² Unemployment Insurance budget and levy is shown separately on page 4.

³ Audit cost budget and levy is shown separately on page 4.

<u>Description</u>	<u>Budget</u>	<u>Levy</u>
Special Boards Division:		
Contractual Serv/Commodities	\$ 72,200	\$ 36,100
Total	\$ 72,200	\$ 36,100
Community Development Division:		
Personal Services	\$164,565	\$ 16,456
Contractual Serv/Commodities	150,355	1,530
Capital	2,000	-0-
Other	4,000	-0-
Total	\$320,920	\$ 17,986
Forestry Division:		
Personal Services	\$100,927	\$ 30,278
Contractual Serv/Commodities	51,350	12,838
Capital Outlay	10,750	-0-
Other	15,000	-0-
Total	\$178,027	\$ 43,116
Parks & Parkways Division:		
Personal Services	\$ 34,960	\$ 30,000
Contractual Serv/Commodities	56,550	14,138
Capital	-0-	-0-
Other	25,000	-0-
Total	\$116,510	\$ 44,138
Sewer Division:		
Personal Services	\$146,900	-0-
Contractual Serv/Commodities	45,250	-0-
Total	\$192,150	\$ -0-
Village Hall Division:		
Personal Services	\$ 9,350	\$ -0-
Contractual Serv/Commodities	27,000	10,000
Capital Outlay	77,000	6,142
Total	\$113,350	\$ 16,142
Village Properties Division:		
Contractual & Other	\$ 7,150	\$ -0-
Public Works Center Division:		
Personal Services	\$ 5,225	\$ -0-
Contractual Serv/Commodities	39,800	10,000
Capital Outlay	8,500	-0-
Total	\$ 53,525	\$ 10,000
Public Safety Building Division:		
Personal Services	\$ 9,350	\$ -0-
Contractual Serv/Commodities	63,200	10,000
Capital Outlay	13,000	-0-
Total	\$ 85,550	\$ 10,000

<u>Description</u>	<u>Budget</u>	<u>Levy</u>
Commuter Station Division:		
Personal Services	\$ 40,098	\$ -0-
Contractual Serv/Commodities	45,830	-0-
Capital Outlay	3,000	-0-
Total	\$ 88,928	\$ -0-
Total Taxes Levied for General Corporate Purposes:		<u>\$683,262</u>

SECTION 3. SPECIAL LEVIES.

That in addition to the maximum of taxes authorized for General Corporate Purposes, that there be and is hereby levied on all taxable property within the corporate limits of said Village for the fiscal year commencing May 1, 2015 and ending April 30, 2016, the sum of three million, three hundred ninety-six thousand, one hundred ninety-eight and no/100's dollars (\$3,396,198) for the following special purposes as authorized by law.

<u>Description</u>	<u>Budget</u>	<u>Levy</u>
Police Sworn Division:		
Personal Services	\$ 1,817,890	\$ 410,000
Contractual Serv/Commodities	197,195	-0-
Capital	49,000	-0-
Other	681,350	-0-
Total	\$2,745,435	\$ 410,000
Police Support Services Division⁴:		
Personal Services	\$184,850	\$ -0-
Contractual Serv/Commodities	275,383	-0-
Capital Outlay	0	-0-
Total	\$460,233	\$ -0-
Crossing Guards Division⁵:		
Personal Services	\$ 9,850	\$ 6,000
Contractual Serv/Commodities	-0-	-0-
Total	\$ 9,850	\$ 6,000
Fire Division:		
Personal Services	\$ 158,719	\$ 130,000
Contractual Serv/Commodities	431,050	180,000
Other	100,000	-0-
Capital Outlay	24,000	-0-
Total	\$ 713,769	\$ 310,000
Streets, Bridges & Lights Division:		
Personal Services	\$ 356,900	-0-
Contractual Serv/Commodities	207,700	-0-
Other	40,000	-0-
Total	\$ 604,600	-0-

⁴ Crossing Guard Salaries are now shown in the Police Support Services Division budget.

⁵ See note #4.

<u>Description</u>	<u>Budget</u>	<u>Levy</u>
Sanitation Division:		
Personal Services	\$ 7,125	\$ 0
Contractual Serv/Commodities	596,450	553,350
Total	\$ 603,575	\$ 553,350
Public Works Capital Improvements:		
Capital Outlay	\$1,677,000	\$ -0-
Total	\$1,677,000	\$ -0-
Liability Insurance Division:⁶		
Contractual Serv/Commodities	\$ 200,545	\$ 195,000
Audit Division:⁷		
Contractual Serv/Commodities	\$ 28,000	\$ 28,000
Unemployment Insurance Division:⁸		
Contractual Serv/Commodities	\$ 16,500	\$ 10,000
Total General Fund Budget	\$10,078,140	
IL Municipal Retirement Fund:		
Personal Services - Village	\$ 158,250	\$ 152,000
Social Security Fund:		
Personal Services - Village	\$ 245,525	\$ 195,700
Fire Dept. Special Fund:		
Other	\$ 31,700	-0-
Motor Fuel Tax Fund:		
Capital Outlay	\$ -0-	-0-
E-911 Fund:		
Contractual Services	\$ 46,400	-0-
Capital Outlay	\$ 95,542	-0-
Total	\$ 141,942	-0-
Vehicle/Equipment Replace Fund:		
Capital Outlay	\$ 194,750	-0-
Total	\$ 194,750	-0-
Redevelopment Fund:		
Capital Outlay	\$ 95,000	-0-
Police Pension Fund:		
Administrative/Investment Costs	\$ 51,700	-0-
Pensions	\$ 800,000	\$ 650,100
Total	\$ 851,700	\$ 650,100

⁶ Liability Insurance is separated in the budget in the personnel section of these divisions: Administration, Finance, Community Development, Police Sworn, Police Support, Fire, Streets, Sanitation, Forestry, Parks, & Sewers.

⁷ Audit budget is included in the Finance Division - Contracts/Commodities – Other Professional Services line item.

⁸ Unemployment insurance budget is included in the Administration Division – Personnel Services category.

<u>Description</u>	<u>Budget</u>	<u>Levy</u>
Library Fund:		
Personal Services	\$ 563,250	\$ 550,048
Contractual Serv/Commodities	251,750	250,000
Capital Outlay	4,000	4,000
IMRF/FICA Pension	82,000	82,000
Contingency	5,217	-0-
Grant Expenditures	33,153	-0-
Total	\$ 939,370	\$ 886,048

Total Taxes Levied for Special Purposes: \$3,396,198

SECTION 4. SUMMARY OF LEVY BY PURPOSE.

That the following is a summary of the taxes herein before levied:

Corporate	\$683,262
Police Protection	410,000
Garbage Disposal	553,350
Street & Bridge	-0-
Crossing Guard	6,000
Fire Protection	310,000
Library	886,048
Civil Defense	-0-
IL Municipal Retirement	152,000
Social Security	195,700
Liability Insurance	195,000
Audit Tax	28,000
Unemployment Insurance	10,000
Police Pension	650,100

Total Levy \$4,079,460

SECTION 5. TRUTH-IN TAXATION ACT COMPLIANCE.

That the Village hereby certifies that compliance with the provisions of the Truth-in-Taxation Law, as amended, was not required for this Ordinance.

SECTION 6. VALIDITY OF ORDINANCE.

That, if any part or parts of this Ordinance shall be held to be unconstitutional or otherwise invalid, such unconstitutionality or invalidity shall not affect the validity of the remaining parts of this Ordinance.

SECTION 7. EFFECTIVE DATE.

This Ordinance shall be in full force and effect following its passage, approval, and publication in pamphlet form in the manner required by law.

PASSED this ____ day of _____, 2015 by vote of the Board of Trustees of the Village of Lake Bluff, as follows:

AYES: ()

NAYS: ()

ABSENT: ()

APPROVED this ____ day of .

ATTEST:

Village President

Village Clerk

FIRST READING: November 23, 2015

SECOND READING: December 7, 2015

PASSED: _____

APPROVED: _____

ORDERED PUBLISHED IN PAMPHLET FORM:

VILLAGE OF LAKE BLUFF

10-Nov-15

2015 PROPERTY TAX LEVY PRELIMINARY LEVY

I. Calculation of 2015 Estimated EAV & Historical Data

	2010	2011	2012	2013	2014	2015 Estimated
Village EAV	\$561,955,086	527,046,786	484,191,545	463,295,419	458,754,118	\$491,784,414
Sanctuary EAV	<u>\$23,944,748</u>	<u>24,208,168</u>	<u>22,308,618</u>	<u>20,968,093</u>	<u>20,764,619</u>	<u>\$21,387,558</u>
Total Village EAV	<u>\$585,899,834</u>	<u>\$551,254,954</u>	<u>\$506,500,163</u>	<u>\$484,263,512</u>	<u>\$479,518,737</u>	<u>\$513,171,972</u>
Shield's Township EAV	\$2,223,203,731	\$2,060,162,776	\$1,926,914,557	\$1,781,099,584	\$1,690,026,662	\$1,639,325,862
Village % of Township	26.35%	26.76%	26.29%	27.19%	28.37%	31.30%
New Construction Value Annexed Property	\$3,063,550	\$3,106,704	\$967,961	\$2,877,031	\$1,378,812	\$2,976,000
Property Tax Extension	\$3,506,600	\$3,573,377	\$3,694,381	\$3,789,757	\$3,862,737	
Sanctuary Extension	<u>\$136,964</u>	<u>\$150,333</u>	<u>\$156,160</u>	<u>\$157,470</u>	<u>\$160,876</u>	
Total Village Extension	<u>\$3,643,564</u>	<u>\$3,723,710</u>	<u>\$3,850,542</u>	<u>\$3,947,227</u>	<u>\$4,023,613</u>	<u>\$0</u>
Tax Rate	0.624	0.678	0.763	0.818	0.842	0.000
Sanctuary Rate	0.572	0.621	0.700	0.751	0.775	0.000

II. Calculation of Maximum Tax Levy**A. Tax Cap Calculation - PTELL MAXIMUM****YEAR 2015 ESTIMATE**

	<u>CPI Factor 0.8%</u>	0.80%	
STEP 1: Prior year Extension less debt * CPI factor			
2014 Extension	\$4,023,613	\$4,055,802	
STEP 2: Tax Rate Maximum=New Extension (less debt) Divided by Estimated EAV less New Construction		\$510,195,972	
Maximum Tax Rate with CPI (Step 1 divided by Step 2)		0.7949 PTELL Limiting Rate	
STEP 3: Rate * Total EAV = Total levy (less debt)		\$4,079,460	MAXIMUM
STEP 4: Total Maximum Levy		\$4,079,460	1.388% % Increase
STEP 5: Add G.O. Debt Payments	ABATED	\$0	
STEP 6: Total Maximum Levy & Tax Rate		\$4,079,460	0.7949

III. Comparison 2014 & 2015 Levy - VILLAGE**A. PTELL Maximum**

	2014 Tax Ext	2015 Tax Max	2015 Estimate	\$ Change	% Change
Levy Before Debt	\$3,149,695	\$3,193,412	\$3,193,412	\$43,717	1.388%
Debt Levy	\$0	\$0		\$0	
Abatement	\$0	\$0		\$0	
Total Levy	\$3,149,695	\$3,193,412	\$3,193,412	\$43,717	1.388%

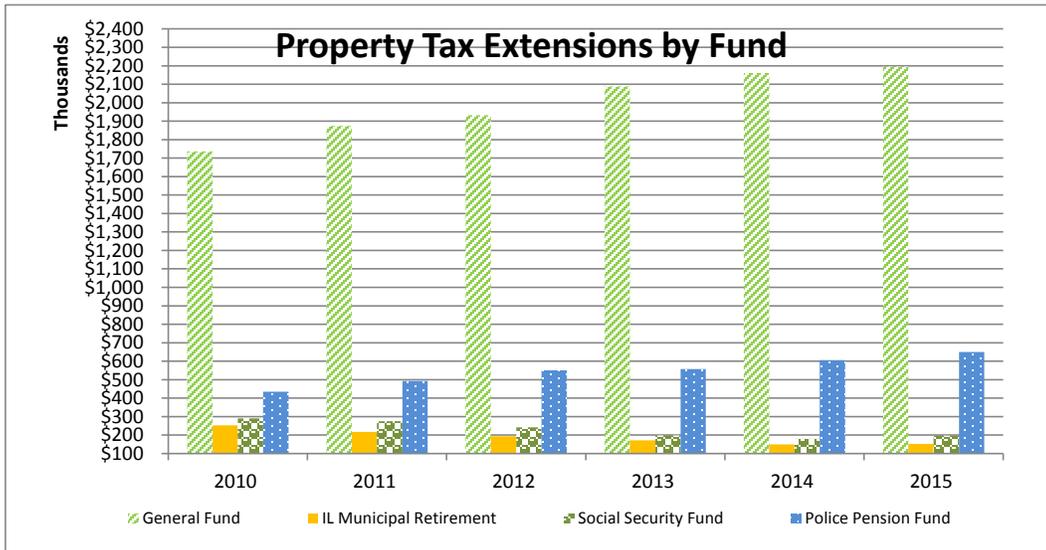
IV. Library Levy Estimates					
	2014 Extension	2015 Max	2015 Estimate	\$ Increase	% Change
Amount Allowed per Tax Cap	\$873,918	\$886,048	\$886,048	\$12,130	1.388%
TOTAL LEVY	\$4,023,613	\$4,079,460	\$4,079,460	\$55,847	1.388%

**VILLAGE OF LAKE BLUFF
COMPARISON OF PROPERTY TAX LEVIES 2011-2015**



FUND TITLE	PROPERTY TAX 2011 EXT (FY12-13)	PROPERTY TAX 2012 EXT (FY13-14)	PROPERTY TAX 2013 EXT (FY14-15)	PROPERTY TAX 2014 EXT (FY15-16)	PROPERTY TAX 2015 EXT (FY16-17)	\$ INC/(DEC) 2014 Extension to 2015 Levy	% INC/(DEC)	% of Total Levy
01 General Fund	\$1,932,133	\$2,087,921	\$2,160,295	\$2,169,085	\$2,195,612	\$26,527	1.22%	49.53%
Debt Service Abatement	\$0	\$0	\$0	\$0	\$0	\$0	N/A	0.00%
General Fund Total Tax	\$1,932,133	\$2,087,921	\$2,160,295	\$2,169,085	\$2,195,612	\$26,527	1.22%	49.53%
07 IL Municipal Retirement	192,939	172,210	150,122	150,003	152,000	\$1,997	1.33%	7.47%
14 Social Security Fund	242,552	197,535	179,177	190,004	195,700	\$5,696	3.00%	8.56%
16 Liability Insurance Fund	0	0	0	0	0	\$0	N/A	0.00%
62 Police Pension Fund	551,255	557,150	605,329	640,603	650,100	\$9,497	1.48%	11.68%
Subtotal-Village	\$2,918,879	\$3,014,816	\$3,094,923	\$3,149,695	\$3,193,412	\$43,717	1.39%	77.24%
80 Library Fund	744,267	763,094	777,654	797,398	807,598	\$10,200	1.28%	20.90%
80 Library IMRF	32,887	40,704	41,925	42,975	44,050	\$1,075	2.50%	1.07%
80 Library FICA	27,677	31,927	32,725	33,545	34,400	\$855	2.55%	0.78%
39 1998 G.O. Bond & Interest	0	0	0	0	0	\$0	N/A	0.00%
Library	\$804,831	\$835,725	\$852,304	\$873,918	\$886,048	\$12,130	1.39%	22.76%
TOTAL EXTENSION/LEVY	\$3,723,710	\$3,850,541	\$3,947,227	\$4,023,613	\$4,079,460	\$55,847	1.39%	100.00%

Residential property represents 90.6% of the total EAV of the Village.
Commercial, industrial, farm and railroad property combined EAV represents 9.4%.



**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 15

Subject: AN ORDINANCE ABATING 2015 PROPERTY TAXES
LEVIED FOR GENERAL OBLIGATION DEBT SERIES
2011 AND 2012 BONDS OF THE VILLAGE OF LAKE
BLUFF, LAKE COUNTY, ILLINOIS (First Reading)

Action Requested: FIRST READING APPROVAL (Roll Call Vote)

Originated By: FINANCE DIRECTOR

Referred To: VILLAGE BOARD

Summary of Background and Reason For Request:

The Village currently has Refunding Bonds Series 2011 and 2012 General Obligation (“G.O.”) bonds outstanding. Pursuant to Ordinances 2011-19 and 2012-13 the County Clerk is required to extend a property tax levy in an amount sufficient to pay the interest and principal on the bonds.

In the past the Village has abated the annual property tax levy. Because the bond ordinances directing extension of the annual property tax levy were filed with the County Clerk, an ordinance is required to abate (not levy) the property tax for these bonds.

The Finance Director determined that the Waterworks Fund has the amount necessary to transfer to the Waterworks Bond and Interest Account for principal and interest payments on the 2011 Refunding Bonds. The 2012 Refunding Bond principal and interest payments will be paid by General Fund revenues.

Reports and Documents Attached:

- A Copy of the Abatement Ordinance.

Village Administrator’s Recommendation: First Reading Approval of the Ordinance.

Date Referred to Village Board: 11/23/2015

ORDINANCE NO. 2015

**AN ORDINANCE ABATING 2015 PROPERTY TAXES LEVIED FOR
GENERAL OBLIGATION DEBT SERIES 2011 AND 2012 BONDS OF
THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS**

Passed by the Board of Trustees,

Printed and Published,

Printed and Published in Pamphlet Form
by Authority of the
President and Board of Trustees

VILLAGE OF LAKE BLUFF
LAKE COUNTY, ILLINOIS

I hereby certify that this document
was properly published on the date
stated above.

Village Clerk

ORDINANCE NO. 2015

**AN ORDINANCE ABATING 2015 PROPERTY TAXES LEVIED FOR
GENERAL OBLIGATION DEBT SERIES 2011 AND 2012 BONDS OF
THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS**

WHEREAS, on September 26, 2011 the Village adopted Ordinance 2011-19 providing for the issuance of General Obligation Refunding Series 2011 Bonds (“2011 Refunding Bonds”) for the purpose of refunding the 2004 Bonds and Section 11 of said Ordinance directs the County Clerk to levy a direct annual tax sufficient to pay the principal and interest coming due on the 2011 Refunding Bonds in the amount of two hundred twenty thousand, two hundred forty-three and 75/100’s dollars (\$220,243.75); and,

WHEREAS, the Waterworks Fund has sufficient revenues for the payment of principal and interest coming due on the 2011 Refunding Bonds and the Finance Committee of the Village of Lake Bluff recommends that the 2015 Property Tax Levy Debt Service requirements be reduced by two hundred twenty thousand, two hundred forty-three and 75/100’s dollars (\$220,243.75); and,

WHEREAS, on June 11, 2012 the Village adopted Ordinance 2012-13 providing for the issuance of General Obligation Refunding Series 2012 Bonds (“2012 Refunding Bonds”) for the purpose of refunding the 2006 Bonds and Section 11 of Ordinance 2012-13 directs the County Clerk to levy a direct annual tax sufficient to pay the principal and interest coming due the 2012 Refunding Bonds in the amount of two hundred fifty-one thousand, four hundred ninety-two and 50/100’s dollars (\$251,492.50) of the 2014 Property Tax Levy; and,

WHEREAS, the General Fund has sufficient revenues for the payment of principal and interest coming due on the 2012 Refunding Bonds and the Finance Committee of the Village of Lake Bluff recommends that the 2015 Property Tax Levy Debt Service requirements be reduced by two hundred fifty-one thousand, four hundred ninety-two and 50/100’s dollars (\$251,492.50); and,

WHEREAS, the Village Board of Trustees of the Village of Lake Bluff have determined that it is in the best interest of the Village to abate the Debt Service Section of the 2015 Property Tax Levy in the amount of two hundred twenty thousand, two hundred forty-three and 75/100’s dollars (\$220,243.75); and that the funds necessary to pay principal and interest on the 2011 Refunding Bonds be transferred from the Waterworks Fund to the respective Waterworks Bond Fund; and,

WHEREAS, the Village Board of Trustees of the Village of Lake Bluff have determined that it is in the best interest of the Village to abate the Debt Service Section of the 2015 Property Tax Levy in the amount two hundred fifty-one thousand, four hundred ninety-two and 50/100’s dollars (\$251,492.50); and that the funds necessary to pay interest on the 2012 Refunding Bonds be transferred from the General Fund to the respective Bond Fund.

NOW THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS, as follows:

SECTION 1. ABATEMENT OF 2015 PROPERTY TAXES.

The County Clerk is authorized to abate the 2015 property taxes levied as follows:

2015 Property Tax Debt Service Levy Abatement Ordinance

Levy Year	Bond Issue/ Ordinance	Taxes Levied by Original Bond Ordinance	Taxes to be Abated by this Ordinance	Amount of Taxes Required to Pay Principal & Interest
2015	2011 G.O. Refunding Bonds Ordinance 2011-19	\$220,243.75	\$220,243.75	\$-0-
2015	2012 G.O. Refunding Bonds Ordinance 2012-13	\$251,492.50	\$251,492.50	\$-0-

SECTION 2. EFFECTIVE DATE.

This Ordinance shall be effective following passage by the Board of Trustees of the Village of Lake Bluff in the manner required by law and publication in pamphlet form in the manner required by law.

PASSED this ____ day of _____, 2015 by vote of the Board of Trustees of the Village of Lake Bluff, as follows:

AYES: ()

NAYS: ()

ABSENT: ()

APPROVED this ____ day of _____, 2015.

Village President

ATTEST:

Village Clerk

FIRST READING: November 23, 2015

SECOND READING: December 7, 2015

PASSED:

APPROVED:

ORDERED PUBLISHED IN PAMPHLET FORM:

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 16

Subject: AN ORDINANCE AMENDING AN EXISTING SPECIAL USE PERMIT (Ordinance 2008-07) AND A VARIATION FROM THE VILLAGE'S GROSS FLOOR AREA REQUIREMENTS FOR THE CONSTRUCTION OF RENOVATIONS TO THE LAKE BLUFF MIDDLE SCHOOL (31 E. Sheridan Place)

Action Requested: FIRST READING APPROVAL (Roll Call Vote)

Originated By: LAKE BLUFF SCHOOL DISTRICT #65

Referred To: JOINT PLAN COMMISSION & ZONING BOARD OF APPEALS (PCZBA)
ARCHITECTURAL BOARD OF REVIEW (ABR)

Summary of Background and Reason For Request:

In October 2015 Lake Bluff School District #65 (Petitioner) Officials and representatives from Wight & Company (Consultant) met with Village Staff to review proposed renovations to the Lake Bluff Middle School (31 E. Sheridan Place). The renovations include: (i) an overall reconfiguration of the interior space; (ii) a new fine arts addition (4,300 sq. ft.), (iii) a new classroom addition (5,400 sq. ft.) providing for five new classrooms, (iv) a new storage building (1,200 sq. ft.) placed near the westerly property line, (v) as well as certain modifications to the eastern parking lot along E. Sheridan Place. At its meeting on October 21st, the PCZBA and the ABR conducted a joint workshop to review and provide feedback on the preliminary plans. Shortly thereafter the Chairs of the PCZBA and ABR met with the Petitioner and the Consultant to review the changes in preparation for an upcoming public hearing with the PCZBA.

At its meeting on November 18th the PCZBA conducted a public hearing, received comments from the public and recommended the Village Board, upon a 4-1 vote, approve the following:

- 1) An amendment to Ordinance #2008-07 granting a special use permit (SUP) to operate a school at 31 E. Sheridan Place; and
- 2) A 211% variation from the Village's maximum gross floor area regulations for the R-4 Residence District, which allows an additional 68,160.20 sq. ft. of floor area for a total floor area of 100,469 sq. ft. with the following conditions: a) mitigate any noise generated from the mechanical units and ensure any operation of the equipment complies at all times with applicable law, including the Illinois Pollution Control Board sound emission standards and limitations, b) work with the Village to provide additional landscaping improvements and screening around the proposed freestanding storage shed, and c) the Petitioner will use its best efforts to obtain necessary funding to complete the alternate proposals (refer to Attachment 2) related to providing additional access to natural light and screening of rooftop mechanical units.

To accommodate the Petitioner's project timeline, first reading of the ordinance is being presented to the Village Board with the expectation the Petitioner will meet with the ABR for an advisory site plan review prior to second reading scheduled for December 14th. The second reading version will be a "redline" version incorporating any changes resulting from the ABR's review. Superintendent Jean Sophie and other school officials, as well as the Petitioner's Consultant and Village Staff, will be in attendance to address questions from the Board.

Reports and Documents Attached:

1. Ordinance Amending Existing SUP and Granting a Floor Area Variation;
2. Middle School Building Renovation Plans, Comments Addressing Workshop Feedback and List of Alternate Proposals Currently Being Considered by the Petitioner;
3. PCZBA Staff Report (without attachments) Dated November 13th and an Informational Update (without attachments) Dated November 18th Transmitting the Final Floor Area Calculation; and
4. A Comment Received by the Village Concerning the Project.

PCZBA's Recommendation:

Approval of the Ordinance.

Village Administrator's Recommendation:

Consider First Reading Approval of Ordinance.

Date Referred to Village Board:

11/23/2015

First Reading Version

ORDINANCE NO. 2015-__

**AN ORDINANCE AMENDING AN EXISTING SPECIAL USE PERMIT (Ordinance 2008-07)
AND A VARIATION FROM THE VILLAGE'S GROSS FLOOR AREA REQUIREMENTS FOR
THE CONSTRUCTION OF RENOVATIONS TO THE LAKE BLUFF MIDDLE SCHOOL**

(31 E. Sheridan Place)

WHEREAS, School District 65 ("**Applicant**") is the owner of the property located at 31 East Sheridan Place in the Village, which is within the Village's "B" (R-4) Residence District and is legally described on the attached **Exhibit A** ("**Subject Property**"); and,

WHEREAS, the Subject Property consists of a single zoning lot on which the Applicant currently operates the school commonly known as the Lake Bluff Middle School ("**Middle School**") and formerly operated the school commonly known as the East School; and,

WHEREAS, pursuant to Ordinance 2008-07, the Applicant received certain zoning relief for the Subject Property, including (i) a special use permit for the operation of a school ("**Original Special Use Permit**"), and (ii) a variation from the maximum gross floor area regulations ("**Original Floor Area Variation**") to allow for the operation of both the Middle School and East School, which Special Use Permit required, in part, strict compliance with the approved plans for the Subject Property; and,

WHEREAS, pursuant to Ordinance 2012-06, and in an effort to mitigate the impact on neighbors of the sound generated by the operation of the Middle School's chiller equipment, the Applicant received additional zoning relief for the Subject Property, including (i) a variation from the maximum fence height regulations of Section 10-9-4B of the Zoning Regulations to construct a sound attenuation wall ("**Wall**") at the Subject Property ("**Fence Height Variation**") and (ii) a related amendment to the Original Special Use Permit to depict the Wall on the site plan for the Subject Property ("**SUP Amendment**"); and,

WHEREAS, subsequent to the approval of the Original Special Use Permit, as amended by the SUP Amendment, East School ceased operating and was demolished, so the Middle School is the only facility operating on the Subject Property and therefore is no longer operating in strict compliance with the plans approved pursuant to the Original Special Use Permit; and,

WHEREAS, the Applicant is planning certain renovations to the Middle School, including constructing additional classrooms, storage space, installing additional mechanical equipment, and related improvements (collectively, the "**Improvements**"); and,

WHEREAS, the Applicant seeks the following zoning relief to construct the Improvements to the Middle School: (1) an amendment to the existing Special Use Permit to provide for the construction, installation, and operation of the Improvements ("**Amended and Restated Special Use Permit**"), and (2) a revised variation from the floor area ratio restrictions in the R-4 District ("**Revised Floor Area Variation**"); and,

WHEREAS, following a properly noticed public hearing, the Joint Plan Commission and Zoning Board of Appeals ("**PCZBA**") recommended that the Board of Trustees approve the Amended and Restated Special Use Permit and Revised Floor Area Variation; and,

WHEREAS, the PCZBA has recommended, and the Village Board of Trustees has determined, that it would be in the best interest of the Village to grant the Amended and Restated Special Use Permit and Revised Floor Area Variation in accordance with, and subject to, the conditions, restrictions, and provisions of this Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS, as follows:

Section 1. Recitals.

The foregoing recitals are incorporated into, and made a part of, this Ordinance as the findings of the President and Board of Trustees of the Village.

Section 2. Public Hearing.

A public hearing to consider the Applicant's request for the Amended and Restated Special Use Permit and the Revised Floor Area Variation was duly advertised on or before October 31, 2015 in *The News-Sun*, and was held by the Lake Bluff Joint Plan Commission and Zoning Board of Appeals on November 18, 2015, on which date the PCZBA recommended approval of the Revised Special Use Permit and the Revised Floor Area Variation.

Section 3. Grant of Revised Floor Area Variation; Revocation of Original Floor Area Variation; Adoption and Restatement of Fence Height Variation.

A. Grant of Variation. Subject to and contingent upon the conditions, restrictions, and provisions in Section 5 of this Ordinance, a variation of approximately 68,160.20 square feet, or 211 percent, from the Village's maximum floor area restrictions for the R-4 District, as set forth in Section 10-5-6A of the Zoning Regulations, is hereby granted to the Applicant for the construction of the Improvements.

B. Revocation of Original Floor Area Variation. The Original Floor Area Variation granted pursuant to Ordinance 2008-07 is hereby revoked and shall be of no further force or effect.

C. Adoption and Restatement of Fence Height Variation. The variation from the Village's fence height restrictions granted pursuant to Ordinance 2012-06 is hereby adopted and restated as part of this Ordinance and shall remain in full force and effect pursuant to the terms of this Ordinance.

Section 4. Grant of Amended and Restated Special Use Permit.

A. Grant of Amended and Restated Special Use Permit. Subject to and contingent upon the conditions, restrictions, and provisions in Section 5 of this Ordinance, the Amended and Restated Special Use Permit is hereby granted to the Applicant pursuant to Section 10-4-2E of the Zoning Regulations to allow the Applicant to depict the Improvements on the relevant plans for the Middle School and the Subject Property. The Amended and Restated Special Use Permit amends and restates the Original Special Use Permit as amended by the SUP Amendment.

Section 5. Conditions.

The Revised Floor Area Variation granted in Section 3 and the Amended and Restated Special Use Permit granted in Section 4 of this Ordinance are expressly subject to and contingent upon each of the following conditions, restrictions, and provisions:

A. Compliance with Plans and Application. The Subject Property must be developed, used, and maintained in substantial accordance with the following documents submitted by the Applicant to the Village: the site plans and related materials prepared by Wight consisting of 21 pages (inclusive of Exhibits A and B thereto) and attached as **Exhibit B ("Site Plans")**, and the Applicant's application for the Revised Floor Area Variation and the Amended and Restated Special Use Permit and accompanying documents attached as **Exhibit C ("Application")**;

B. Compliance with Applicable Law. In addition to the other specific requirements of this Ordinance, the Subject Property, the Middle School, and all of the Applicant's operations and activities conducted on and in the Subject Property, must comply at all times with all applicable federal, state, and Village statutes, ordinances, resolutions, rules, codes, and regulations.

C. Existing Special Use Permit Conditions. The following conditions placed on the original Special Use Permit pursuant to Ordinance 2008-07 are hereby incorporated and adopted in this Ordinance remain in full force and effect, as follows:

1. Landscaping. The Applicant agrees to continue to consult with the owners of neighboring properties in the development and implementation of the landscaping of the Subject Property pursuant to the Plans, including, without limitation, consulting with the neighboring owners concerning the placement and selection of trees and other landscape plants and materials. The Applicant further agrees not to plant any trees or landscape materials which bear or produce nuts, fruit, or other materials which could be used as projectiles or otherwise present a safety hazard.
2. Lighting. The Applicant agrees to continue to consult with the owners of neighboring properties in the development and implementation of the photometric plan for the Subject Property pursuant to the Plans.
3. Sprinkling of Existing Facility. The Applicant agrees to install and operate an operational automatic fire suppression sprinkler system which will provide fire sprinkler protection to that portion of the existing Middle School as of the approval of Ordinance 2008-07, including the multi-purpose room, gymnasium, and associated rooms located to the south of the existing gymnasium including without limitation locker rooms, storage rooms and electrical rooms, which sprinkler system must be installed and maintained in compliance with all applicable fire prevention codes, regulations, and standards.

C. Wall Requirements. The following conditions for the installation and operation of the Wall, as originally described in Ordinance 2012-06 are hereby incorporated and adopted in this Ordinance remain in full force and effect, as follows:

1. Construction Materials and Landscaping. Pursuant to the Village Board's previous direction that the Applicant review its planned construction materials and landscaping with the Chairman of the Village's Architectural Board of Review, the Applicant must implement the following aesthetic and landscaping requirements on the Subject Property as were agreed between the Applicant and the ABR Chairman at their August 17, 2010 meeting, including:
 - a. Planting and maintaining ivy along the east and south portions of the Wall for the purpose of covering the eastern and southern faces of the Wall with ivy, provided that the Applicant is not required to install a trellis system for this purpose; and
 - b. Painting the northern portion of the Wall with an opaque stain that matches in color the buffed portions of the existing school building.
2. Concealment of Structural Supports. All structural supports for the Wall must be concealed in the interior of the Wall structure and must not be visible from the exterior of the Wall structure.
3. Limitation to Existing Chiller System. The approvals granted in this Ordinance are applicable only to the existing chiller system located on the Subject Property, and shall be of no further force or effect when the existing chiller system is replaced.
4. Warranty Information and Technical Specifications. The Applicant shall provide the Village with copies of the warranty information and technical specifications for the existing chiller system and agrees to maintain the existing chiller system as required pursuant to the existing warranty.

D. Noise Mitigation. The Applicant shall use its best efforts, including without limitation retaining and working with a noise mitigation consultant, to mitigate noise caused by all chiller and mechanical equipment operating at the Middle School, including without limitation the deployment of sound buffering and screening of such equipment. The operation of such equipment shall comply at all times with all applicable laws, rules, and regulations, including without limitation the Illinois Pollution Control Board rules and regulations regarding permitted noise levels.

E. Additional Landscape Conditions. In addition to the requirements of Paragraph 5.C.1 above, the Applicant shall use its best efforts to revise the landscape plan included in the Plans to provide additional landscaping improvements and screening around the proposed free-standing storage shed, including without limitation the consideration of reducing the size of the storage shed along with the installation of the related landscaping.

F. Access to Natural Light. The Applicant will use its best efforts to obtain necessary funding to complete the alternate proposals described in Exhibit B to the Plans, including without limitation: item 3 ("Installation of skylight in the southwest instructional suite addition"); item 4 ("Installation of mechanical rooftop unit screen wall above the renovated main office and the southwest instructional suite addition"); and item 8 ("Installation of one moveable wall in the southwest instructional suite addition").

G. Revocation of Ordinances 2008-07 and 2012-06. Ordinances 2008-07 and 2012-06 are hereby revoked and shall be of no further force or effect.

Section 6. Failure to Comply with Conditions.

Upon failure or refusal of the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, the approvals granted in Sections 3 and 4 of this Ordinance will, at the sole discretion of the Village Board of Trustees, by ordinance duly adopted, be revoked and become null and void.

Section 7. Binding Effect; Non-Transferability.

The privileges, obligations, and provisions of each and every section and provision of this Ordinance are for and inure to the benefit of the Applicant, unless otherwise explicitly set forth in this Ordinance.

Section 8. Effective Date.

A. This Ordinance will be effective only upon the occurrence of all of the following events:

- i. Passage by the Board of Trustees of the Village of Lake Bluff in the manner required by law; and
- ii. Publication in pamphlet form in the manner required by law; and
- iii. The filing by the Applicant with the Village Clerk, for recording in the Office of the Lake County Recorder of Deeds, of an unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance. The unconditional agreement and consent must be executed by the Applicant. The unconditional agreement and consent must be substantially in the form attached hereto and incorporated herein as ***Exhibit D***.

B. In the event that the Applicant does not file with the Village Clerk the unconditional agreement and consent required by Paragraph 8.A(iii) of this Ordinance within 60 days after the date of final passage of this Ordinance, the Board of Trustees of Trustees will have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

PASSED this ___ day of _____, 2015, by vote of the Board of Trustees of the Village of Lake Bluff, as follows:

AYES:

NAYS:

ABSENT:

ABSTAIN:

APPROVED this ___ day of _____, 2015.

Village President

ATTEST:

Village Clerk

FIRST READING: _____

SECOND READING: _____

PASSED: _____

APPROVED: _____

PUBLISHED IN PAMPHLET FORM: _____

EXHIBIT A

Legal Description of the Subject Property

THAT PART OF THE LAKE BLUFF HEIGHTS SUBDIVISION IN THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 44 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: LOTS 1 THROUGH 12 AND THE VACATED ALLEY LYING BETWEEN AND ADJACENT TO SAID LOTS IN BLOCK 6; LOTS 1 THROUGH 12 AND THE VACATED ALLEY LYING BETWEEN AND ADJACENT TO SAID LOTS IN BLOCK 7; LOTS 1 THROUGH 6 AND THE EASTERLY HALF OF THE VACATED ALLEY LYING WEST OF AND ADJACENT TO SAID LOTS IN BLOCK 8, TOGETHER WITH VACATED MERRIL COURT LYING BETWEEN BLOCKS 7 AND 8, VACATED WARRANT COURT LYING BETWEEN BLOCKS 6 AND 7 AND PART OF THE 10-FOOT WIDE VACATED ALLEY LYING SOUTH OF BLOCKS 7 AND 8 AND LYING EASTERLY OF THE CENTER LINE OF THE NORTH/SOUTH VACATED ALLEY IN BLOCK 8, SAID CENTER LINE EXTENDED SOUTH TO THE SOUTH LINE OF SAID 10 FOOT ALLEY AND LYING WESTERLY OF THE WESTERLY LINE OF LOT 6 IN BLOCK 7, SAID WEST LINE EXTENDED SOUTH TO THE SOUTH LINE OF THE 10 FOOT VACATED ALLEY; AND THE APPROXIMATE 1.16 ACRE PARCEL WITH PROPERTY IDENTIFICATION NUMBER 12-21-300-003 LOCATED ADJACENT TO AND SOUTH OF THE WESTERLY PORTIONS OF THE PREVIOUSLY DESCRIBED PARCELS, IN LAKE COUNTY ILLINOIS.

Commonly known as 31 East Sheridan Place, Lake Bluff, Illinois.

EXHIBIT B

Site Plans

EXHIBIT C

Application

EXHIBIT D

Applicant's Unconditional Agreement and Consent

TO: The Village of Lake Bluff, Illinois ("**Village**");

WHEREAS, School District 65 ("**Applicant**") is the owner of the property located at 31 East Sheridan Place in the Village, which is within the Village's "B" (R-4) Residence District and is legally described on the attached **Exhibit A** ("**Subject Property**"); and

WHEREAS, the Subject Property consists of a single zoning lot on which the Applicant currently operates the school commonly known as the Lake Bluff Middle School ("**Middle School**") and formerly operated the school commonly known as the East School; and

WHEREAS, pursuant to Ordinance 2008-07, the Applicant received certain zoning relief for the Subject Property, including (i) a special use permit for the operation of a school ("**Original Special Use Permit**"), and (ii) a variation from the maximum gross floor area regulations ("**Original Floor Area Variation**") to allow for the operation of both the Middle School and East School, which Special Use Permit required, in part, strict compliance with the approved plans for the Subject Property; and

WHEREAS, pursuant to Ordinance 2012-06, and in an effort to mitigate the impact on neighbors of the sound generated by the operation of the Middle School's chiller equipment, the Applicant received additional zoning relief for the Subject Property, including (i) a variation from the maximum fence height regulations of Section 10-9-4B of the Zoning Regulations to construct a sound attenuation wall ("**Wall**") at the Subject Property ("**Fence Height Variation**") and (ii) a related amendment to the Original Special Use Permit to depict the Wall on the site plan for the Subject Property ("**SUP Amendment**"); and

WHEREAS, subsequent to the approval of the Original Special Use Permit, as amended by the SUP Amendment, East School ceased operating and was demolished, so the Middle School is the only facility operating on the Subject Property and therefore is no longer operating in strict compliance with the plans approved pursuant to the Original Special Use Permit; and

WHEREAS, the Applicant is planning certain renovations to the Middle School, including constructing additional classrooms, storage space, installing additional mechanical equipment, and related improvements (collectively, the "**Improvements**"); and

WHEREAS, the Applicant seeks the following zoning relief to construct the Improvements to the Middle School: (1) an amendment to the existing Special Use Permit to provide for the construction, installation, and operation of the Improvements ("**Amended and Restated Special Use Permit**"), and (2) a revised variation from the floor area ratio restrictions in the R-4 District ("**Revised Floor Area Variation**"); and

WHEREAS, Ordinance No. 2015-_____, adopted by the President and Board of Trustees of the Village of Lake Bluff on _____, 2015, ("**Ordinance**") grants the requested Fence Height Variation and SUP Amendment for the Subject Property, subject to certain modifications, conditions, restrictions, and provisions; and

WHEREAS, Subsection 8.B of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Applicant files with the Village

First Reading Version

Clerk, within 60 days following the passage of the Ordinance, its unconditional agreement and consent to accept and abide by each of the terms, conditions and limitations set forth in said Ordinance;

NOW, THEREFORE, the Applicant does hereby agree and covenant as follows:

1. The Applicant hereby unconditionally agrees to accept, consent to, and abide by all of the terms, conditions, restrictions, and provisions of the Ordinance.

2. The Applicant acknowledges that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, has considered the possibility of the revocation provided for in the Ordinance, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.

3. The Applicant acknowledges and agrees that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's issuance of any permits for the use of the Wall and the Subject Property, including, without limitation, the special use permit and site plan approved in the Ordinance, and that the Village's issuance of any such permits or approvals does not, and will not, in any way, be deemed to insure the Applicant against damage or injury of any kind and at any time.

4. The Applicant agrees to and does hereby hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the operation and use of the Subject Property, or the Village's adoption of the Ordinance.

Dated: _____, 2015.

ATTEST:

LAKE BLUFF SCHOOL DISTRICT 65

By: _____

By: _____

Its: _____

Its: _____



Wight & Company

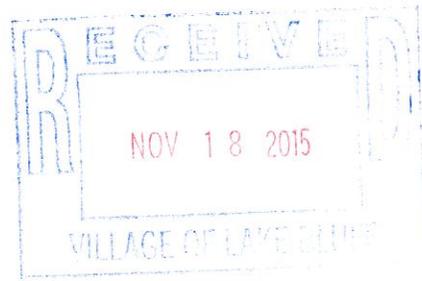
wightco.com

2500 North Frontage Road

Darien, IL 60561

P 630.969.7000

F 630.969.7979



Lake Bluff Elementary School District 65
LAKE BLUFF MIDDLE SCHOOL ADDITIONS AND ALTERATIONS

Exhibit A to the Application for Zoning Variation/Special Use Permit/Rezoning or PRD

10/30/15 (updated 11/18/15)

The following questions and accompanying answers reflect the content of the joint PCZBA/ABR workshop held in the Lake Bluff Village Hall on Wednesday, October 21, 2015.

1. **What new noise (db) will come from the additions? Will new work improve/amplify existing noise concerns from the existing chiller? A new Roof Top Mechanical Unit will be provided for the southwest addition. Product specification sheets are herein attached. Any sound impact from these pieces of equipment will be minimized by its proposed location, a sound blanket being specified for the compressor coils and baffles surrounding the fans. It is not anticipated that the new units will amplify noise from the existing chiller as the new equipment will be placed on the opposite side of the facility and away from the perimeter of the building. Sheet A4.0 depicts the location and site lines of the equipment.**
2. **Provide parking lot lighting photometrics and plan layout? No new parking lot lights are contemplated for this project. Should financial resources become available in the near future, the District will give further consideration for this part of the work scope.**
3. **Will the project address current parking lot traffic issues during peak times of usage? The flow of traffic through the site will remain consistent with current traffic patterns as the parking lot on the west side of the building will remain relatively unchanged. Parking stalls in the east lot will be reduced and designated for District Administrators and visitors to the District Office. Bus drop off sequencing will also remain in place along the drive. Diagram EXH4.0 shows existing traffic patterns on and through the site.**
4. **What, if any, changes are contemplated for on-site bicycle parking? Location and quantity of bicycle racks will remain unchanged in this project; however, the District is currently considering improvements to the same once the main portion of the additions/alterations project is completed.**
5. **How will the former East School Site be programmed and/or effected by this project? Should financial resources be available, the District has plans to clean and regrade the entire east side of the site.**

6. *How will the heights of the new additions relate to the existing facility? The height of the additions will not exceed the tallest portion of the existing facility. Please refer to sheet A3.00, Building Elevation for proposed building heights.*
7. *What is the communication plan between neighbors and the School District before and during construction activity? In addition to the extensive community engagement process recently completed for this project as well as continuous and on-going updates to the Board of Education at their regularly scheduled meetings, District Officials plan to establish a newsletters and scheduling updates on its website. Update meetings with community groups, parents and neighbors are planned for November 18, 2015 and December 1, 2015.*
8. *How will the site be landscaped? Please refer to the attached landscape plan and details on Sheet L1.00 developed by the design team based on Village requirements.*
9. *What considerations will be given to providing increased daylighting options to instructional spaces located away from perimeter walls within the southwest addition? Based on feedback at the last PCZBA/ABR workshop meeting, the School District and the design team are contemplating the placement of one or more skylights for the southwest addition. Inclusion of these elements is contingent on the availability of funds at the time that the BOE will award the construction contracts.*
10. *Will all exterior exit areas be provided with ADA compliant ramps? A new ADA accessible ramp is planned at the main entrance of the school. In addition, the ramp along the north side will be maintained. Refer to Sheet A2.0 for all ADA access locations around the school.*



Wight & Company

wightco.com

.....
2500 North Frontage Road

Darien, IL 60561

.....
P 630.969.7000

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Lake Bluff Elementary School District 65
LAKE BLUFF MIDDLE SCHOOL ADDITIONS AND ALTERATIONS

Exhibit B – Alternate Proposals

11/18/15

The following list of items reflect alternate proposals that the Board of Education is currently considering to solicit from contractors for the Lake Bluff Middle School Additions/Alterations project. Depending on the financial resources available at the time construction contracts are awarded, any number of these items may be accepted into or rejected from the construction project.

- 1. Regrade the playfield east of the existing Lake Bluff Middle School**
- 2. Replace existing exterior lighting with energy efficient, sharp-cutoff fixtures**
- 3. Installation of skylight in the southwest instructional suite addition**
- 4. Installation of mechanical rooftop unit screen wall above the renovated main office and the southwest instructional suite addition**
- 5. Removal and replacement of existing corridor flooring**
- 6. Removal and Replacement of existing classroom flooring**
- 7. Removal and replacement of existing classroom doors and door hardware**
- 8. Installation of one moveable wall in the southwest instructional suite addition**
- 9. Installation of additional landscaping per the request of the Village of Lake Bluff**



LAKE BLUFF SCHOOL DISTRICT 65

LAKE BLUFF SCHOOL DISTRICT 65

31 E Sheridan Pl, Lake Bluff, IL
60044

Lake Bluff Middle School
Schematic Design Plan

PLAN COMMISSION AND ZONING BOARD OF APPEALS AND
ARCHITECTURAL BOARD OF REVIEW SUBMITTAL



Wight

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wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

PROJECT TEAM

CLIENT
LAKE BLUFF MIDDLE SCHOOL
31 E Sheridan Pl
Lake Bluff, IL 60044

CIVIL ENGINEER:
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
Design Firm Registration #184-000451

LANDSCAPE ARCHITECT:
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PHONE: (630)969-7000
FAX: (630)969-7979
CONTACT:
Design Firm Registration #184-000451

ARCHITECT:
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
CONTACT:
Design Firm Registration #184-000451

PLUMBING ENGINEER:
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
Design Firm Registration #184-000451

ELECTRICAL ENGINEER:
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
Design Firm Registration #184-000451

MECHANICAL ENGINEER:
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
Design Firm Registration #184-000451

FIRE PROTECTION ENGINEER:
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
Design Firm Registration #184-000451

BUILDING CODE DATA

1. APPLICABLE CODES *Gross Building Area, Total (Village Calculation, Existing) 69,771 SF*

BUILDING CODE:
MECHANICAL CODE:
ELECTRICAL CODE:
PLUMBING CODE:
ACCESSIBILITY CODE:
ENERGY CODE:

2. GENERAL BUILDING DESCRIPTION

GROSS BUILDING AREA, EXISTING: 49233 SF
GROSS BUILDING AREA, TOTAL (NEW & EXISTING): *60038 SF - 60092 SF*
GROSS BUILDING AREA, TOTAL (VILLAGE CALCULATION NEW & EXISTING): *69268 SF - 100469 SF*

3. BUILDING OCCUPANCY TYPE SECTION 302
OCCUPANCY CLASSIFICATION: E

4. CONSTRUCTION TYPE SECTION 603, 602
CONSTRUCTION TYPE: IIB
FIRE RESISTANCE RATING REQUIREMENTS: TABLE 601
STRUCTURAL FRAME: 0 HR
BEARING WALLS (EXTERIOR) (ALSO SEE TABLE 602): 0 HR
BEARING WALLS (INTERIOR): 0 HR
NON-BEARING WALLS (EXTERIOR): SEE TABLE 602
NON-BEARING WALLS (INTERIOR): 0 HR
FLOOR CONSTRUCTION: 0 HR
ROOF CONSTRUCTION: 0 HR
EXTERIOR WALL FIRE SEPARATION DISTANCE: TABLE 602
LESS THAN 5': 1 HR
LESS THAN OR EQUAL TO 5' TO LESS THAN 10': 1 HR
LESS THAN OR EQUAL TO 10' TO LESS THAN 30': 0 HR
GREATER THAN OR EQUAL TO 30': 0 HR

5. ALLOWABLE HEIGHT AND AREA LIMITATIONS SECTION 503

BASE ALLOWABLE AREA: 14500 SF
BASE ALLOWABLE HEIGHT (FEET): 55' - 0"
BASE ALLOWABLE HEIGHT (STORIES): 2 STORIES

HEIGHT MODIFICATIONS SECTION 504
AUTOMATIC SPRINKLER SYSTEM INCREASE (FEET): 55' - 0"
AUTOMATIC SPRINKLER SYSTEM INCREASE (STORIES): 2 STORY

AREA MODIFICATIONS SECTION 506
FRONTAGE INCREASE
FORMULA: $If = 100 \times [(F/P - 0.25) \times W/30]$
BUILDING PERIMETER (P): 1284' - 0"
BUILDING FRONTAGE (F): 1220' - 0"
FRONTAGE WIDTH (W): 29' 9 3/4"
TOTAL FRONTAGE INCREASE (If):
AUTOMATIC SPRINKLER SYSTEM INCREASE:

TOTAL ALLOWABLE BUILDING AREA
FORMULA: $Aa = At + [(At \times If)/100] + [(At \times Is)/100]$
TOTAL ALLOWABLE AREA: 67976 SF
TOTAL ACTUAL AREA: 60038 SF

TOTAL ALLOWABLE HEIGHT: 55' - 0"
TOTAL ACTUAL HEIGHT: 26' - 0"
TOTAL ALLOWABLE STORIES: 2 STORIES
TOTAL ACTUAL STORIES: 1 STORY

6. BUILDING COVERAGE 10-5-8

MAXIMUM ALLOWED BUILDING COVERAGE: 30%
PROPOSED BUILDING COVERAGE: 20.8%
PROPOSED BUILDING COVERAGE (VILLAGE CALCULATION): *34.8% - 35%*
EXISTING BUILDING COVERAGE: 17.1%
EXISTING BUILDING COVERAGE WITH EAST SCHOOL: 42.3%
EXISTING BUILDING COVERAGE 30.9%

LOCATION MAP



Lake Bluff Middle School
31 E Sheridan Pl.
Lake Bluff, IL 60044

FOR UNDERGROUND UTILITY LOCATIONS,
CALL J.U.L.I.E.
TOLL FREE TEL. 1-800-892-0123
JULIE SUBURBS & DIGG CHICAGO

- o YELLOW _____ GAS
- o RED _____ ELECTRICAL
- o ORANGE _____ PHONE / TV COMMUNICATION
- o BLUE _____ WATER
- o GREEN _____ SEWERS
- o WHITE _____ SAFE TO DIG

STATEMENT OF COMPLIANCE

I HAVE PREPARED OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (IL. REV. STAT. 1985, CH. 111 1/2, PARS. 3711 ET SEQ AS AMENDED) AND THE ILLINOIS ACCESSIBILITY CODE, 71 IL ADM. CODE 400.

SIGNED: _____ ARCHITECT/ENGINEER
ILLINOIS REGISTRATION NO.: _____
DATE: _____

PCZBA # ABR SUBMITTAL 11-18-2015
REV DESCRIPTION DATE

LAKE BLUFF SCHOOL DISTRICT 65

31 E SHERIDAN PLACE
LAKE BLUFF, IL 60044

COVER SHEET, INDEX,
TEAM, LOCATION MAP

Project Number:
02-5014-05
Drawn By:

ALTA/ACSM LAND TITLE SURVEY

Pin: 12-21-301-035
12-21-300-003

PART OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS

TOTAL LOT AREA SUMMARY
287,088 S.F. OR 6.59 ACRES

ABBREVIATIONS	
000.00' M	MEASURED DATA
000.00' C	COMPUTED DATA
000.00' R	RECORD DATA
P.U. & D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT
R=	RADIUS
A=	ARC LENGTH
PIN	PERMANENT INDEX NUMBER
P.U. & D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT
L.E. & S.E.	LANDSCAPE & SIDEWALK EASEMENT

LINETYPE LEGEND	
—————	BOUNDARY LINE
—————	ADJOINER LOT LINE
—————	CENTER LINE
—————	RIGHT OF WAY
—————	EASEMENT LINE
—————	BUILDING LINE
—————	SECTION LINE
—————	UNDERLYING LOT LINE

SURVEYOR'S NOTES CONT.

- THE SURVEYED PROPERTY IS LOCATED IN ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO MAP NO. 17097C088 X WITH EFFECTIVE DATE OF SEPTEMBER 18, 2013.
- THE UNDERSIGNED DID NOT OBSERVE EVIDENCE OF CURRENT EARTH MOVING, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THE UNDERSIGNED HAS NO KNOWLEDGE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.
- THE UNDERSIGNED HAS OBSERVED NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
- ADDRESS: 121 E SHERIDAN PLACE LAKE BLUFF, ILLINOIS

LEGAL DESCRIPTION OF PROPERTY

LOTS 1 THROUGH 12 IN BLOCK 6 OF LAKE BLUFF HEIGHTS, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 44 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF LAKE BLUFF, THE PLAT OF WHICH IS RECORDED IN PLAT BOOK C PAGE 23, LAKE COUNTY, ILLINOIS.

ALSO ALL THAT PART OF THE NORTH/SOUTH VACATED 12 FOOT WIDE ALLEY LYING WEST OF AND ADJACENT TO SAID LOTS 1 THROUGH 6 OF SAID BLOCK 6, LYING NORTH OF THE SOUTH LINE OF SAID LOT 6 EXTENDED AND SOUTH OF THE NORTH LINE OF SAID LOT 1 EXTENDED.

ALSO ALL THAT PART OF VACATED WARREN COURT LYING WEST OF ADJACENT TO SAID LOTS 7 THROUGH 12 OF SAID BLOCK 6, LYING NORTH OF THE SOUTH LINE OF SAID LOT 7 EXTENDED AND SOUTH OF THE NORTH LINE OF SAID BLOCK 12 EXTENDED.

LOTS 1 THROUGH 12 IN BLOCK 7 OF LAKE BLUFF HEIGHTS, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 44 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF LAKE BLUFF, THE PLAT OF WHICH IS RECORDED IN PLAT BOOK C PAGE 23, LAKE COUNTY, ILLINOIS.

ALSO ALL THAT PART OF THE NORTH/SOUTH VACATED 12 FOOT WIDE ALLEY LYING WEST OF AND ADJACENT TO SAID LOTS 1 THROUGH 6 OF SAID BLOCK 7, LYING NORTH OF THE SOUTH LINE OF SAID LOT 6 EXTENDED AND SOUTH OF THE NORTH LINE OF SAID LOT 1 EXTENDED.

ALSO ALL THAT PART OF THE NORTH/SOUTH VACATED 12 FOOT WIDE ALLEY LYING WEST OF AND ADJACENT TO SAID LOTS 7 AND 8, LYING WEST OF THE EAST LINE OF SAID LOT 7 OF BLOCK 7 EXTENDED SOUTH, AND EAST OF THE WEST LINE OF LOT 6 OF BLOCK 8 IN SAID LAKE BLUFF HEIGHTS, EXTENDED SOUTH.

ALSO ALL THAT PART OF VACATED MERRILL COURT LYING WEST OF ADJACENT TO SAID LOTS 7 THROUGH 12 OF SAID BLOCK 7, NORTH OF THE SOUTH LINE OF SAID LOT 7 EXTENDED AND SOUTH OF THE NORTH LINE OF SAID BLOCK 12 EXTENDED.

LOTS 1 THROUGH 6 IN BLOCK 8 OF LAKE BLUFF HEIGHTS, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 44 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF LAKE BLUFF, THE PLAT OF WHICH IS RECORDED IN PLAT BOOK C PAGE 23, LAKE COUNTY, ILLINOIS.

ALSO ALL THAT PART OF EASTERLY 1/2 OF THE NORTH/SOUTH VACATED 12 FOOT WIDE ALLEY LYING WEST OF AND ADJACENT TO SAID LOTS 1 THROUGH 6 OF SAID BLOCK 8, LYING NORTH OF THE SOUTH LINE OF SAID LOT 6 EXTENDED AND SOUTH OF THE NORTH LINE OF SAID LOT 1 EXTENDED.

AND BEGINNING AT A POINT 355.74 FEET SOUTH AND 1936 FEET WEST OF THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER, SECTION 21, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF LAKE BLUFF, THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID ROAD PARALLEL TO RIGHT-OF-WAY OF CHICAGO & NORTH WESTERN RAILWAY CO., 188.1 FEET; THENCE EAST 439.7 FEET; THENCE NORTH 183.8 FEET TO THE PLACE OF BEGINNING (EXCEPT THAT PART THEREOF CONVEYED BY WARRANTY DEED FROM MARGARET J. HIGGINSON GURNEA, A WIDOW TO THE LAKE BLUFF PARK DISTRICT, DATED APRIL 18, 1938 AND RECORDED APRIL 22, 1938 AS DOCUMENT NO. 448571) IN LAKE BLUFF, LAKE COUNTY, ILLINOIS.

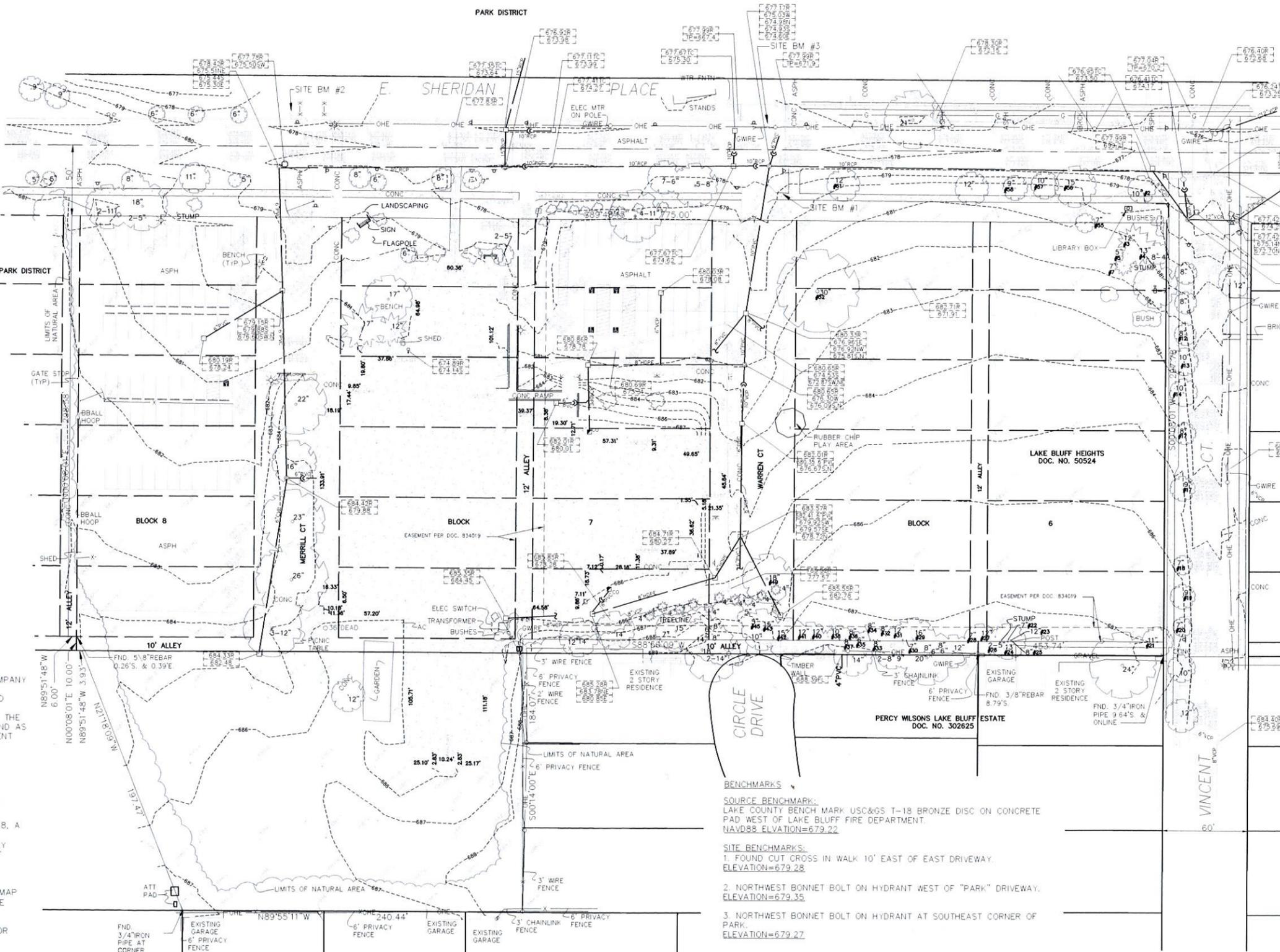
SURVEYOR'S NOTES

REFERENCE IS MADE TO WHEATLAND TITLE GUARANTY COMPANY COMMITMENT NO. LBS-2015LK-2021.0 EFFECTIVE DATE SEPTEMBER 14, 2015, FROM WHICH THIS SURVEY IS BASED. THIS PROPERTY IS SUBJECT TO ALL COVENANTS AND RESTRICTIONS RELATING TO THE USE AND CHARACTER OF THE LAND AS ALL MATTERS APPEARING IN PUBLIC RECORD AND AS MAY BE DISCLOSED BY A MORE CURRENT TITLE COMMITMENT OR REPORT.

12' ALLEY ON BLOCK 6 IS VACATED PER DOC. 5537052
12' ALLEY ON BLOCK 7 IS VACATED PER DOC. 574741
WARREN COURT IS VACATED PER DOC. 256750
MERRILL COURT IS VACATED PER DOC. 5537052
12' ALLEY ON BLOCK 8, A VACATION WAS NOT FOUND IN SEARCH.
10' ALLEY ALONG THE SOUTH LINE OF BLOCKS 6, 7 AND 8, A VACATION WAS NOT FOUND.
A 10' AND 20' EASEMENT FOR STREET, ALLEY OR HIGHWAY PURPOSES PER DOC. 834019 ALONG THE SOUTH LINES OF BLOCK 6 AND BLOCK 7 RUN THROUGH THE BUILDING AS SHOWN ON THE SURVEY.

BASIS OF BEARING: THE BEARINGS SHOWN ON THE PLAT MAP ARE BASED ON NAD 83 (2011 ADJ.) ILLINOIS STATE PLANE EAST ZONE.

TO THE BEST OF OUR KNOWLEDGE THERE ARE NO GAPS OR OVERLAPS.



LEGEND

- ⊙ MANHOLE
- CATCH BASIN
- INLET
- ⊕ VALVE & VAULT
- ⊗ VALVE & BOX
- ⊙ FIRE HYDRANT
- ⊙ STREET LIGHT
- ⊙ POWER POLE
- SIDEWALK
- CURB
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- HEADWALL
- END SECTION
- CORRUGATED METAL PIPE
- E — ELECTRIC LINE
- G — GAS LINE
- T — TELEPHONE LINE
- FO — FIBER OPTIC CABLE
- OHE — OVERHEAD POWER LINES
- TV — CABLE TELEVISION
- X — FENCE LINE

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS
TO:
• THE BOARD OF EDUCATION OF LAKE BLUFF ELEMENTARY SCHOOL DISTRICT 65
• WHEATLAND TITLE GUARANTY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2,3,4,5,7(a),8,11(a),16,17 AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JUNE 5, 2015.

THIS PLAT HAS BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 807, LICENSE EXPIRES APRIL 30, 2017, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON. REPRODUCTION OR USE BY THIRD PARTIES IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED.

DATED THIS _____ DAY OF _____ A.D. 2015

ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 2992
LICENSE VALID THROUGH NOVEMBER 30, 2016



- BENCHMARKS**
- SOURCE BENCHMARK:**
LAKE COUNTY BENCH MARK USC&GS T-18 BRONZE DISC ON CONCRETE PAD WEST OF LAKE BLUFF FIRE DEPARTMENT.
NAVD88 ELEVATION=679.22
- SITE BENCHMARKS:**
- FOUND CUT CROSS IN WALK 10' EAST OF EAST DRIVEWAY.
ELEVATION=679.28
 - NORTHWEST BONNET BOLT ON HYDRANT WEST OF "PARK" DRIVEWAY.
ELEVATION=679.35
 - NORTHWEST BONNET BOLT ON HYDRANT AT SOUTHEAST CORNER OF PARK.
ELEVATION=679.27



LAKE BLUFF SCHOOLS
DISTRICT 65

LAKE BLUFF ELEMENTARY
SCHOOL DISTRICT 65

Wight

Wight & Company

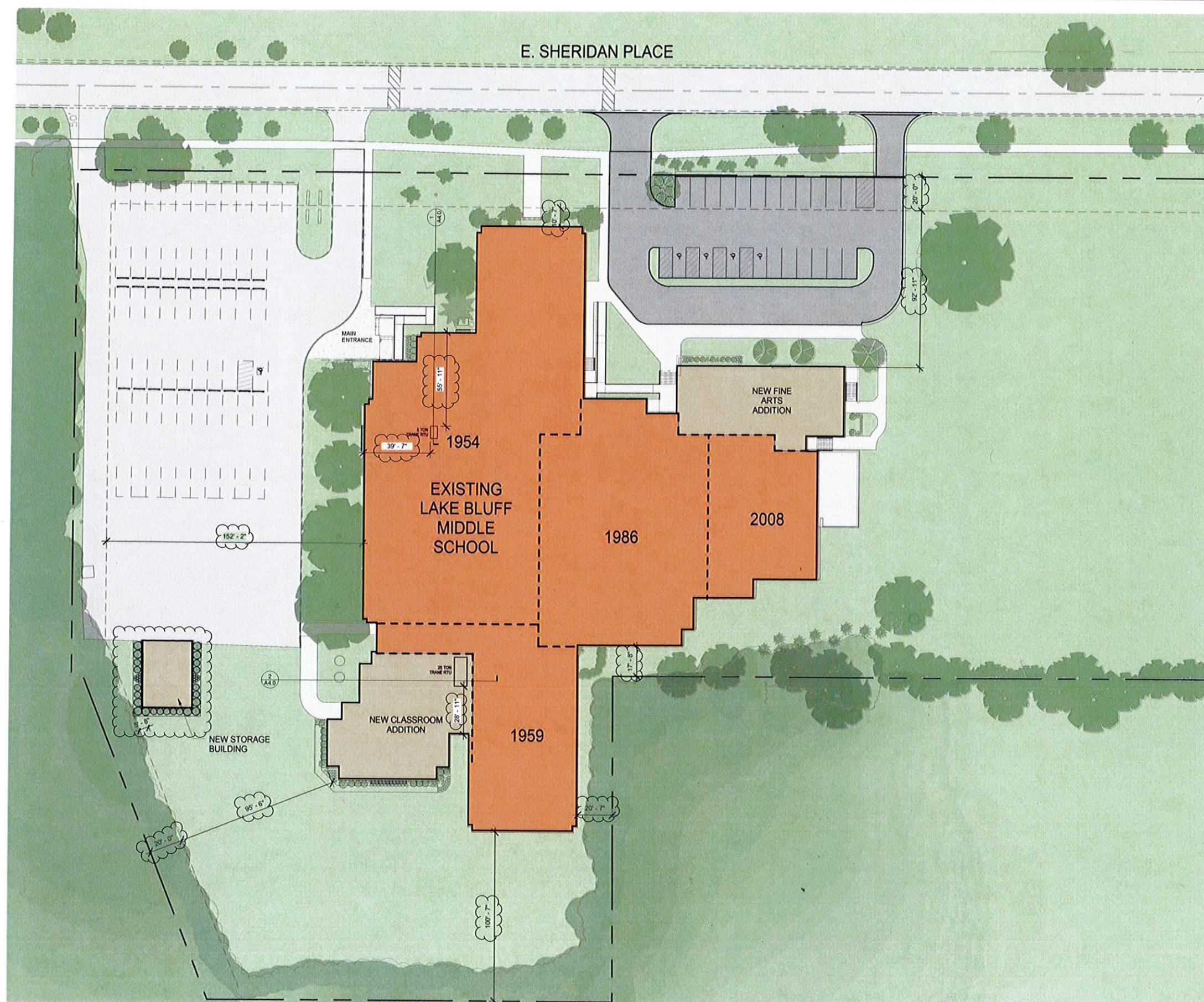
wightco.com

2500 North Frontage Road

Darien, IL 60561

P 630.969.7000

F 630.969.7979



REV	DESCRIPTION	DATE
PCZBA	ABR SUBMITTAL	11-18-2015

LAKE BLUFF SCHOOL DISTRICT 65

31 E SHERIDAN PLACE
LAKE BLUFF, IL 60044

SITE PLAN

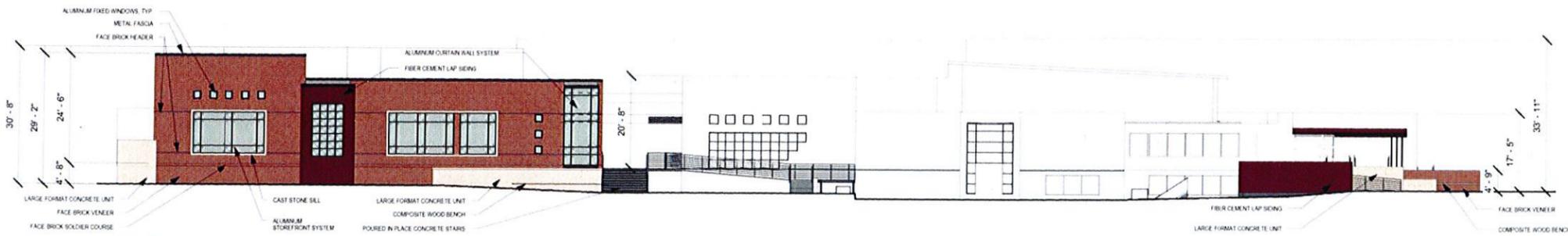
Project Number:

02-5074-05

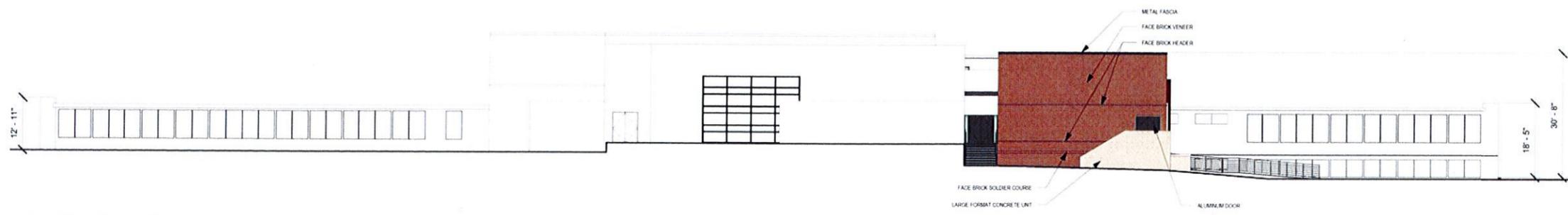
Drawn By:

1 Site

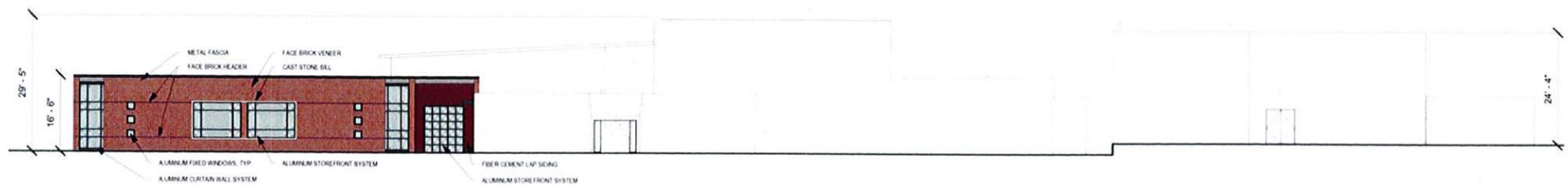




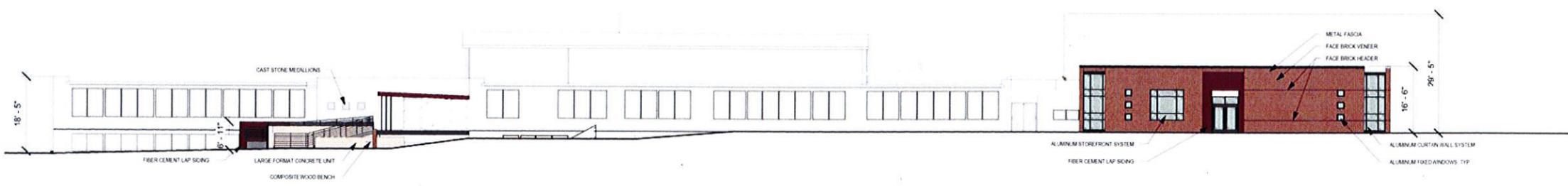
1
A3.0 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2
A3.0 EAST ELEVATION
SCALE: 1/16" = 1'-0"



3
A3.0 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



4
A3.0 WEST ELEVATION
SCALE: 1/16" = 1'-0"



LAKE BLUFF SCHOOLS
DISTRICT 65
LAKE BLUFF ELEMENTARY
SCHOOL DISTRICT 65



Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
PCZBA	ABR SUBMITTAL	11-18-2015

LAKE BLUFF SCHOOL
DISTRICT 65

31 E SHERIDAN PLACE
LAKE BLUFF, IL 60044

ELEVATIONS

Project Number:
02-5014-05
Drawn By:

Smart Solutions



Steel Building Systems
Faster Construction > Lower Cost > Expandability



Metal Building Panel Colors

All our roof and wall panel colors are Energy Star qualified Cool Roof Colors.

Colors for Standard Panels

Signature® 200 Colors

Siliconized Polyester

***New Color* Solar White with a SR.74 and SRI 91**



Hawaiian Blue
SR .32 SRI 35



Crimson Red
SR .38 SRI 42



Fern Green
SR .28 SRI 29



Burnished Slate
SR .28 SRI 29



Koko Brown
SR .28 SRI 29



Gallery Blue
SR .28 SRI 29



Charcoal Gray
SR .28 SRI 29



Ash Gray
SR .48 SRI 58



Saddle Tan
SR .48 SRI 56



Desert Sand
SR .42 SRI 48



* Polar White
SR .58 SRI 69



Rustic Red
SR .36 SRI 40



Light Stone
SR .50 SRI 58

***NEW* Solar White
SR .74 SRI 91**

* Polar White is a Straight Polyester

Signature® 300 Colors

Kynar® 500 / Hylar 5000®

26 Gauge Material - PBR, PBU, PBA, PBC, PBD Panels Only

***New Color* Bone White with a SR.70 and SRI 85**



Medium Bronze
SR .33 SRI 36



Slate Gray
SR .37 SRI 41



Almond
SR .63 SRI 76



Classic Green
SR .28 SRI 29



Brownstone
SR .47 SRI 54



Scarlet Red
SR .42 SRI 47



Harbor Blue
SR .28 SRI 29

***NEW* Bone White
SR .70 SRI 85**

Signature® 300 Colors are low gloss colors.

Notes for Standard Panels:

- 26 gauge material available in all colors.
- 29 gauge material only available in Rustic Red, Saddle Tan, Light Stone, and Polar White.
- Available in smooth or embossed finish.
- Trim available in all colors.
- Panel finishes are warranted up to 40 years!

Colors for Standing Seam Panels

Signature® 200 Colors

Siliconized Polyester

***New Color* Solar White with a SR.74 and SRI 91**



Burnished Slate
SR .28 SRI 29

*Polar White
SR .58 SRI 69



Charcoal Gray
SR .28 SRI 29



Light Stone
SR .50 SRI 58



Hawaiian Blue
SR .32 SRI 35



Rustic Red
SR .36 SRI 40



Koko Brown
SR .28 SRI 29



Fern Green
SR .28 SRI 29



Coal Black
SR .30 SRI 31

***NEW* Solar White**
SR .74 SRI 91

* Polar White is a Straight Polyester

Signature® 300 Colors

Kynar® 500 / Hylar 5000®

***New Color* Bone White with a SR.70 and SRI 85**



Colonial Red
SR .34 SRI 37



Natural Patina
SR .41 SRI 47



Medium Bronze
SR .33 SRI 36



Pacific Blue
SR .29 SRI 31



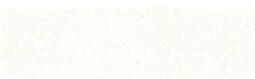
Hunter Green
SR .35 SRI 38



Snow White
SR .65 SRI 79



Slate Gray
SR .37 SRI 41



Almond
SR .63 SRI 76



Midnight Bronze
SR .29 SRI 31



Signature® 300 Colors are low gloss colors.

Signature® 300 Metallic

Kynar® 500 / Hylar 5000®



Signature® 300 Metallic are low gloss colors.

Notes for Standing Seam Panels:

- All products available in smooth or embossed finish.
- Heavier gauges, narrower widths, striations and embossing minimize "oil canning."
- All Signature® 300 and 300 Metallic are low gloss colors.
- Panel finishes are warranted up to 40 years!

All colors shown are for reference only. They are an approximation of the products colors and do not exactly match the actual panel colors. Final color selection should be made from actual color chips.

Signature® is a registered trademark of NCI Group, Inc. KYNAR 500® is a registered trademark of Arkema, Inc. HYLAR 5000® is a registered trademark of Solvay Solexis.

METAL BUILDING SPECIFICATIONS

1. GENERAL

1.1 Scope

The building shall include all structural frames and framing members, connection bolts wall and roof panels, skylights, windows, doors, ventilators, flashing, fasteners and all other items called for in the drawings and specifications which are pertinent to the basic steel structure.

1.2 Description

1.2.1. Clear Span Buildings

"RF", buildings shall be of the single gable, rigid frame type. "SS" buildings shall be of the single-slope, rigid frame type. The primary transverse rigid frames shall be clear span. "RF Straight Column" shall have straight columns with tapered rafters Secondary girt mount shall be either continuous by-pass mounted or simply supported flush mounted.

1.2.2. Interior Support Buildings

"MS" buildings shall be of the single gable rigid frame type. The primary transverse frames shall be supported by intermediate columns. "MS Straight Column" shall be straight column with tapered rafters. Secondary girt mount shall be either continuous by-pass mounted or simply supported flush mounted.

1.3 Nomenclature

1.3.1. The building width and length shall be measured from the inside face to inside face of the wall covering.

1.3.2. The building eave height shall be measured from the bottom of the base plate of the extreme frame columns to the top of the eave strut.

1.3.3. The roof slope shall be a rise of 1 unit for each 12 units of horizontal projection, or shall be designed for any reasonable roof pitch.

1.3.4. The bay spacing between frame center lines shall be:

a. 20' or 25', or shall be designed for any reasonable bay spacing.

b. End bays are 1'-2" less in length than interior bays. End wall steel line extends 1'-2" beyond endwall rigid frame centerline.

c. Special bay spacing as specified.

1.4 Drawings

Complete erection drawings, anchor bolt setting plans, flashing details, and accessory installation details shall be furnished upon request with all parts clearly indicated with part marks for proper assembly. Those erecting building shall assume all responsibility for any deviation from the recommended erection instructions.

2. DESIGN

2.1 General

2.1.1. All structural steel sections and welded plate members shall be designed in accordance with the eighth or ninth as specified) edition of the AISC "Specifications for the Design, Fabrication, and Erection of Steel for Buildings".

2.1.2. All light gage cold formed, structural members shall be designed in accordance with the 1986 edition of the AISI "Specifications for the Design of Light Gage Cold-Formed Steel Structural Members".

2.2 Design Criteria

2.2.1. The roof dead load shall be assumed to be distributed uniformly over the entire roof area.

2.2.2. The application of the roof live load to roof covering secondary and primary framing shall be in accordance with the minimums allowed by the governing building code unless exceptions are specifically noted excluding tributary loading.

2.2.3. In the design of primary and secondary members, wind velocity pressure shall be applied as prescribed by the specified building code or as prescribed by the 1986 edition of the "Low Rise Building Systems Manual" as published by the Metal Building Manufacturers Association.

2.2.4. Magnitudes shall be as specified by local building codes or other governing bodies. In the absence of other specifications, the magnitude of the loads shall be as recommended by the "Low Rise Building Systems Manual" as published by the Metal Building Manufacturers Association.

2.2.5. All wall girts and roof purlins shall be designed as simple or continuous beams. Each interior rigid frame shall be designed to carry equal loads that result from a simple span purlin or girt system.

2.3 Design Load Combinations

2.3.1. Dead Load + Live Load (DL+LL)

2.3.2. Dead Load + Wind Load (DL+WL)

2.3.3. Dead Load + Snow Load (DL+SL)

2.3.4. Dead Load + Seismic Load (DL+SEIS)

2.3.5. Other load combinations shall be as recommended by the specified building code or by the "Low Rise Building Systems Manual" as published by the Metal Building Manufacturers Association.

2.4 Building Materials by Others

All building materials not provided by the building manufacturer shall be properly designed to sustain all loads imposed on them and to transfer those loads to the building manufacturer's primary framing system.

3 STRUCTURAL FRAMING

3.1. General

3.1.1. All framing members shall be shop fabricated for bolted field assembly.

3.1.2. Nomenclature

a. Primary structural framing shall refer to the transverse rigid frames, lean-to rafter beams and columns, canopy beams, intermediate support columns and longitudinal wind bracing.

b. Secondary structural framing shall refer to purlins, girts, eave struts, flange bracing struts, tension rods, clips, etc.

3.1.3. All hot rolled steel sheet, plate, and strip shall have a minimum tested yield strength of 50,000 psi when used as flange material and web material All strip for light gauge purlins and girts shall be 57,000 psi minimum tested yield strength. Hot rolled milled shapes shall have a minimum tested yield strength of 36,000 psi unless noted otherwise on the erection drawings.

3.1.4. All field connections shall be bolted. All bolts for secondary framing, light endwall frames, and endwall columns shall be a minimum of 1/2" diameter conforming to ASTM A-307 or ASTM A-325 as shown on the drawings. All bolts for primary structural members, excluding light endwall frames and endwall columns, shall be a minimum of 3/4" diameter conforming to ASTM A-325. A-325 bolts shall be tightened by the turn-of-the-nut method. All bolts, nuts and washers shall be unplated.

3.1.5. All framing members shall be marked for identification and erection.

3.2 Rigid Frames, Lean-To Frames, Canopy Beams

All members shall be mill sections or welded built up "I" shapes either constant depth or tapered. All flange-to-web welding for built-up sections shall be done by a submerged arc automatic welding process.

3.3 Purlins and Girts

Purlins and girts shall be roll-formed "Z" sections of a depth and gage as needed to conform to the particular design criteria.

3.4 Eave Struts

Eave struts shall be 8 inch deep by 5 inch bottom flange unsymmetrical "C" sections used to properly and adequately receive both the roof panels and wall panels and to serve as a compression member to transfer endwall wind loads.

3.5 Wind Bracing

Wind bracing shall consist of cable in both the roof and sidewalls. The size and number of cables required shall depend on the amount of wind load to be transferred to the foundation. Wind bracing may also be provided by the diaphragm action of the roof and/or wall panels.

3.6 Flange Bracing

The compression flange shall be laterally supported so that the allowable compressive stress is not exceeded.

3.7 Base Attachment

The bottom off the wall panels shall be fastened to a base angle located on the floor slab.

3.8 Painting

All structural framing members, which are not galvanized or otherwise coated, shall be cleaned and given one shop coat of primer. There shall be no finished paint applications. The primer shall be formulated to equal or exceed the end performance requirements of federal specification SSPC15-68T.

4. ROOF AND WALL COVERING

4.1 General

4.4.1. Roof covering shall be 26 or 24 gage galvalume, painted steel, ribbed panels.

4.4.2. Wall covering shall be 26 or 24 gage galvalume, painted steel, ribbed panels.

4.2 Panel Materials

Material for galvanized steel panels shall be formed from flat coiled sheet and shall be galvanized with a zinc coating.

4.3 Panel Configuration

4.3.1. Type "R" and "PBR" shall have 1-1/4" deep major ribs spaced 12" on center. The flat width between major ribs shall be stiffened by two minor ribs. Each panel shall have a 36" wide net coverage.

Application shall be accomplished with through panel fastening. "R" and "PBR" panels shall have a minimum tested yield strength of 80,000 psi. In addition, the "PBR" panel shall have a purlin bearing edge.

4.3.2. Type "A" architectural panel shall have 1-1/8" deep inverted ribs on 12" centers to provide semi-concealed through panel fastening. Each panel shall provide 36" of net coverage and shall be roll-formed utilizing material having a minimum tested yield strength of 50,000 psi.

4.3.3. Type "M" panel shall have 3/4" deep major ribs on 6" centers. Each panel shall provide 36" of net coverage and shall be roll-formed utilizing material having a minimum tested yield strength of 50,000 psi.

4.3.4. The "Ultra-Deck" standing seam panels shall be 3 inch tall snap-lock seamed. The flat width between major ribs shall be stiffened by two minor ribs. Each panel shall have 24" net coverage. Fasteners shall be concealed by use of clips and mounting plates.

4.4 Fasteners

4.4.1. Sheet metal screws shall be No. 14 x 3/4" hex head, self-tapping with steel backed neoprene washers, or No. 12 x 1-1/4" self-drilling with steel backed neoprene washers. The type of fastener shall be as required by the builder.

4.4.2. Finishes

a. Standard buildings shall be furnished with cadmium plated screws.

b. When panels are color coated, all visible wall screws and metal washers shall be color coated to match.

4.5 Sealer

Sealer for sidelaps, endlaps, and flashing shall be 1/2" wide by 3/32" thick, dark gray pressure sensitive tape. Service temperature range shall be from -60° F to +300° F.

4.6 Flashing, Closures, and Trim

4.6.1. Flashing and/or trim shall be furnished at the rake, corners, and eaves, at framed openings, and wherever necessary to provide finished appearance.

4.6.2. A die-formed ridge cap shall be formed to match roof slope and shall be the same configuration as the roof panels.

4.6.3. Solid cell, preformed, rubber or neoprene closures matching the profile of the wall and roof panels shall be installed along the eave and/or rake where required.

4.7 Color Finish

Color coated roof and wall panels, flashing and trims shall be available upon request and the color selections shall be made from the manufacturer's standard selection. Color coated panels shall be available with the supplier's or manufacturer's standard written guarantee covering chalking, fading, blistering, checking, and peeling. Color coating specifications shall be available upon request.

5. ACCESSORIES

5.1 Hollow metal swing doors in all standard sizes shall be furnished with standard passage latches, lock sets and thresholds.

5.2 Aluminum horizontal and vertical hung windows shall be furnished in all standard sizes. All windows shall meet the requirements for "Quality Certified" Aluminum Manufacturers Association Master Specification DH-AI. All windows shall carry the Seal of Approval of the AAMA. Windows shall be factory glazed and have half screens.

5.3 Skylights shall be 8 ounce glass fiber reinforced polyester translucent panels formed to match roof panel configuration. These shall be available in white standard or U.L. fire rated only.

5.4 Round ventilators shall be furnished in 20" diameter with dampers. Monovents shall be in 10' sections with either 9" or 12" throat sizes with or without dampers. Bird screen shall be furnished on both round ventilators and monovents.

6. BUILDING ANCHORAGE AND FOUNDATIONS

6.1 Anchorage

The building anchor bolts and related anchorage shall be designed to resist the column reactions resulting from the design loads. The diameter of the anchor bolts shall be as specified by the building manufacturer. The anchor bolts shall be furnished by the concrete contractor or owner.

6.2 Foundation

The building foundation design shall not be the responsibility of the building manufacturer and must be done by a qualified engineer based on actual job site soil and related conditions.

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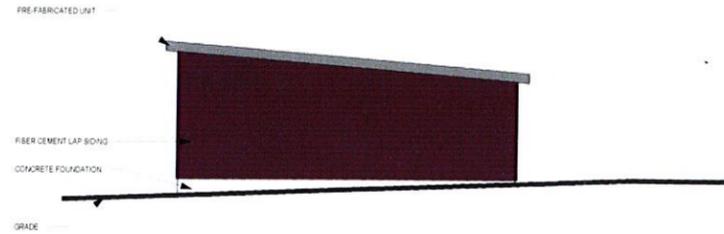


LAKE BLUFF SCHOOLS
DISTRICT 65

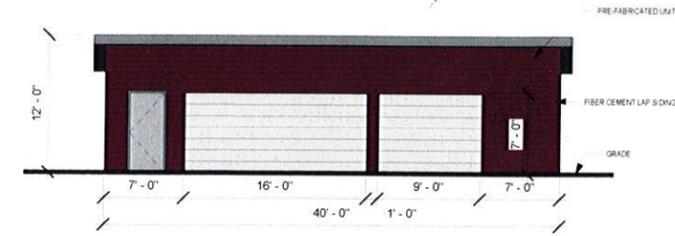
LAKE BLUFF ELEMENTARY
SCHOOL DISTRICT 65



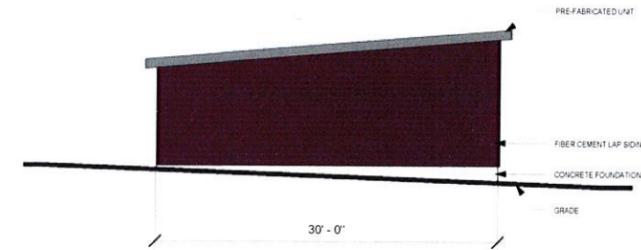
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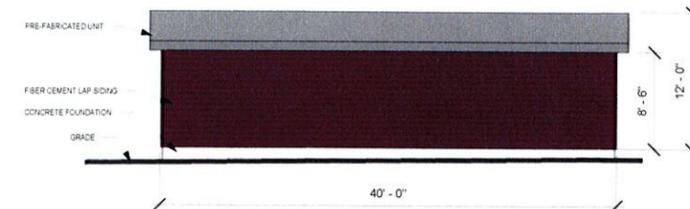
4 WEST STORAGE ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



1 NORTH STORAGE ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



2 EAST STORAGE ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



3 SOUTH STORAGE ELEVATION
A3.1 SCALE: 1/8" = 1'-0"

PCZBA & ABR SUBMITTAL 11-18-2015

REV DESCRIPTION DATE

**LAKE BLUFF SCHOOL
DISTRICT 65**

31 E SHERIDAN PLACE
LAKE BLUFF, IL 60044

ELEVATIONS

Project Number:
02-5074-05
Drawn By:

3-10 Ton R410A PKGD Unitary Gas/Electric Rooftop

Job Information



SD 65 Lake Bluff Middle School
Chicago Main Office
(B63)Alexander Lindsey

Tag	RTU- 2	Model number	YHC067
Quantity	1		

Unit Information

Tonnage	5 Ton 17 SEER	Unit function	DX cooling, gas heat
Min. unit operating weight	748.0 lb	Max. unit operating weight	453 kg
Design Airflow	2000 cfm		

Cooling Information

Gross Total Capacity	60.00 MBh	Gross Sensible Capacity	45.29 MBh
Gross Latent Capacity	14.71 MBh	Net Total Capacity	57.20 MBh
Net Sensible Capacity	42.49 MBh	Net Sensible Heat Ratio	0.74 Number
Cooling Entering DB	80.00 F	Cooling Entering WB	67.00 F
Cooling Leaving Unit DB	60.63 F	Cooling Leaving Unit WB	57.95 F
Ambient Temp	95.00 F		

Heating Information

Heating capacity	High gas heat 3ph	Input Heating Capacity	130.00 MBh
Output Heating Capacity	104.00 MBh	Heating EAT	70.00 F
Heating LAT	118.40 F	Heating Delta T	48.40 F

Motor/Electrical Information

Voltage	460/60/3	Design ESP	1.100 in H2O
Indoor Motor Power	0.70 kW	Indoor mtr operating power	0.94 bhp
Indoor RPM	1118 rpm	Outdoor Motor Power	0.37 kW
Compressor Power	3.76 kW	System Power	4.83 kW
MCA	15.20 A	MOP	20.00 A
Compressor 1 RLA	7.60 A	Evaporator fan FLA	9.40 A
Condenser fan FLA	1.00 A		

Electrical values provided are estimated only and are subject to change without notice and may differ from nameplate values.

Field installed low or high static drive kits may be needed. Please check the fan performance tables in the product catalog for application ranges.

3-10 Ton R410A PKGD Unitary Gas/Electric Rooftop

Job Information



SD 65 Lake Bluff Middle School
Chicago Main Office
(B63)Alexander Lindsey

Tag	RTU- 2		
Quantity	1	Model number	YHC067

Information for LEED Projects

ASHRAE 90.1	Yes		
Refrig charge (HFC-410A) - ckt 1	11.8 lb	Compressor Power	3.76 kW
Rated capacity (AHRI)	58.90 MBh	Outdoor Motor Power	0.37 kW
SEER @ AHRI	17.20 btuh/watt	Indoor mtr operating power	0.94 bhp
SEER @ AHRI	17.20 btuh/watt	Exhaust fan power	0.65 kW

Note: This product meets the minimum equipment efficiency requirements of ASHRAE Standard 90.1-2007 and -2010 (which are based on AHRI standard rating conditions) and, therefore, also meets the LEED "Minimum Energy Performance" prerequisite in the Energy and Atmosphere section. The power data listed above is at actual user-entered conditions. Refer to the product catalog for performance at AHRI standard rating conditions.

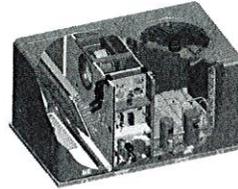
The LEED Green Building Rating System™, developed by the U.S. Green Building Council, provides independent, third-party verification that a building project meets green building and performance measures.

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Field installed low or high static drive kits may be needed. Please check the fan performance tables in the product catalog for application ranges.

Quick Reference Guide

Precedent™ Cooling & Gas/Electric 3-5 Ton 17 Plus Packaged Rooftop Units



Model number description

THC**7	High Efficiency Cooling Only (Electric Heat Optional)
YHC**7	High Efficiency Gas Heat Unit

July 2014

RT-PRC050F-EN

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Table 1. List of factory installed options^(a)

0-50% Motorized Outside Air Damper	Human Interface - 5 inch Color Touchscreen
BACnet® Communication Interface (BCI-R)	LonTalk® Communication Interface (LCI)
Barometric Relief	Manual Outside Air Damper
Belt Drive Motor	MERV 8 Filters
Black Epoxy Pre-Coated Condenser Coil	MERV 13 Filters
Clogged Filter Switch	Multiple Zone VAV (Variable Air Volume)
Complete Coat™ (Microchannel Condenser Coil)	NOVAR 2024 Controls (N/A Heat Pumps)
Condensate Overflow Switch	NOVAR 3051 Controls Without Zone Sensor
Crankcase Heater	NOVAR 3051 Zone Sensor
Dehumidification	NOVAR Return Air Sensor
Demand Control Ventilation Wiring	Powered Convenience Outlet
Discharge Air Temperature Sensing Kit	ReliaTel™ Controls
Economizer - Comparative Enthalpy	Single Zone Variable Air Volume (SZVAV)
Economizer - Dry Bulb	Stainless Steel Drain Pan
Economizer - Low Leak - Dry Bulb	Stainless Steel Heat Exchanger
Economizer - Reference Enthalpy	Supply, Return, and Plenum Air Smoke Detectors
Fan Failure Switch	Through-the-Base Electric Provision
Fault Detection & Diagnostics (FDD); Meets CA Title 24 Requirements	Through-the-Base Gas Provision
Frostat™	Unit Mounted Circuit Breaker
Hail Guard	Unit Mounted Non-Fused Disconnect
Hinged Access Panels	Unpowered Convenience Outlet

(a) Verify option availability in product catalog.

Table 2. 3-5 ton packaged rooftop performance data (gas or electric heat)

Nominal Size (Tons)	High Efficiency 17 Plus		
	3	4	5
Cooling Performance			
High Stage Supply Air (cfm) ^(a)	1,200	1,600	2,000
Low Stage Supply Air (cfm) ^(b)	840	1,120	1,400
Tot /Sens Cap (MBh) ^{(c),(d)}	36.2/26.9	50.0/36.8	60.0/45.3
SEER/EER	17.5	17.5	17.2
IEER	N/A	N/A	N/A
Gas Heating Performance^(d)			
Low Heat (Input/output) - (MBh)	60.0/48.0	60.0/49.0	60.0/49.0
Medium Heat (Input/output) - (MBh)	80.0/64.0	80.0/64.0	80.0/64.0
High Heat (Input/output) - (MBh)	100.0/80.0	120.0/96.0	130.0/104.0
Other Information			
Net Weight (Lbs) - Gas Heat	606	763	822
Net Weight (Lbs) - Electric Heat	544	692	746
Roofturb	BAYCURB042A	BAYCURB043A	
Unit Cabinet Size	B	C	
Filters ^(e) - Type Furnished	Throwaway	Throwaway	Throwaway
Number Size Recommended	(2) 20x30x2	(2) 16x25x2	(2) 16x25x2

(a) Nominal cfm

(b) Nominal cfm

(c) Cooling performance is rated at 80/67/95

(d) All units listed utilize 3-phase voltage

(e) Optional 2" MERV 8 and MERV 13 filters also available

3

Table 3. Unit MCA & MOP electrical data (standard indoor fan motor) (gas or electric heat)

T/YHC	Volts	MCA	MOP
037	208-230/3	23.3	30
	460/3	11.4	15
	575/3	8.7	15
047	208-230/3	29.4	40
	460/3	13.7	20
	575/3	10.4	15
067	208-230/3	32.2	45
	460/3	15.2	20
	575/3	11.2	15

Table 4. Unit indoor fan data (gas or electric heat)

T/YHC	Volts	Standard HP - RPM	Oversize HP - RPM
037	208-230/3 ^(a)	¾ - VARIABLE	—
	460/3 ^(a)	¾ - VARIABLE	—
	575/3 ^{(a)(b)}	¾ - VARIABLE	—
047	208-230/3 ^(a)	1 - VARIABLE	—
	460/3 ^(a)	1 - VARIABLE	—
	575/3 ^{(a)(b)}	1 - VARIABLE	—
067	208-230/3 ^(a)	1 - VARIABLE	—
	460/3 ^(a)	1 - VARIABLE	—
	575/3 ^{(a)(b)}	1 - VARIABLE	—

(a) Direct drive motor

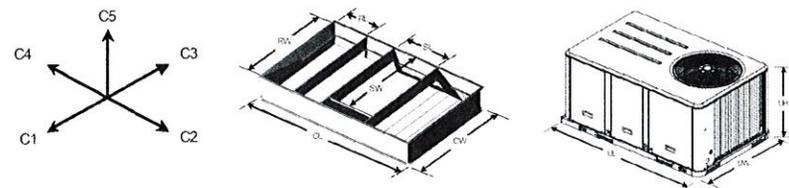
(b) 575V rated units utilize a high efficiency 230 evaporator fan motor powered through a 575/230V transformer. Motor voltage/FLA rated at transformer input.

4

Table 5. Unit dimensional data

	B	C
Unit Length UL	69 7/8	88 5/8
Unit Width UW	44 1/4	53 1/4
Unit Height UH	36 1/4	40 7/8
Clearance C1	48	48
Clearance C2	36	36
Clearance C3	36	36
Clearance C4	36	36
Clearance C5	72	72
Curb Length CL	65 13/16	84 1/2
Curb Width CW	41 7/16	50 3/8
Supply Length SL ^(a)	16 3/4	18 1/2
Supply Width SW ^(a)	17 7/8	34 3/8
Return Length RL ^(a)	14 9/16	18 1/4
Return Width RW ^(a)	25 3/16	34 3/8

(a) Dimensions are for curb openings and not duct inserts. Reference the product catalog for duct insert dimensions.



The manufacturer optimizes the performance of homes and buildings around the world. A business of Ingersoll Rand, the leader in creating and sustaining safe, comfortable and energy efficient environments, the manufacturer offers a broad portfolio of advanced controls and HVAC systems, comprehensive building services, and parts. For more information, visit www.IRco.com.

The manufacturer has a policy of continuous product and product data improvement and reserves the right to change design and specifications without notice.

20-75 Ton Packaged Industrial Rooftop

Job Information

			SD 65 Lake Bluff Middle School Chicago Main Office (B63)Alexander Lindsey
Tag	RTU-2	Model number	SFHLF25
Nominal Capacity	25 ton Air cooled	Unit Function	Natural Gas Heat
Development Sequence	R410A Development sequence		

Model Description

Unit airflow	H: Single Zone		
Unit Function	Natural Gas Heat	System Control	VAV VFD sup & exh/ret fan w/o BP
Nominal Capacity	25 ton Air cooled	Outside Air Selection	0-100% Economizer
Power Supply	460/60/3	Capacity/Efficiency Options	Standard capacity unit
Heating Capacity	Full Mod. High Gas Heat	Filter	High-Efficiency Throwaway Filters
Exhaust/Return fan options	100% -Exhaust 3 Hp w/Statitrac	Exhaust/Return fan drive selection	500 rpm

Cooling

Gross total capacity	288.22 MBh	Gross latent capacity	91.44 MBh
Gross sensible capacity	196.79 MBh	Net total capacity	271.48 MBh
Net sensible capacity	180.05 MBh	Net sensible heat ratio	66.32 %
Leaving coil DB	53.88 F	Leaving coil WB	53.01 F
Leaving unit DB	56.34 F	Leaving unit WB	54.02 F

Entering Conditions

Design airflow	6150 cfm	Exhaust/Return Airflow	6150 cfm
Ambient DB	95.00 F	Cooling EDB	82.40 F
Ent air relative humidity		Cooling EWB	68.10 F
		Heating EAT	40.00 F

Heating

Input htg capacity	500.00 MBh	Output htg capacity	400.00 MBh
Heating delta T	59.95 F	Heating LAT	99.95 F
Output htg capacity w/fan	400.00 MBh		

Power

Supply Total Static Pressure	2.482 in H2O	Supply duct static pressure	1.500 in H2O
Roof curb (for static pressure add)		Return duct static pressure	0.500 in H2O
Supply Fan Hp	7.5 Hp FC	Exhaust/Return fan options	100% -Exhaust 3 Hp w/Statitrac

Electrical values provided are estimated only and are subject to change without notice and may differ from nameplate values.

20-75 Ton Packaged Industrial Rooftop

Job Information



SD 65 Lake Bluff Middle School
Chicago Main Office
(B63)Alexander Lindsey

Tag	RTU-2	Model number	SFHLF25
Nominal Capacity	25 ton Air cooled	Unit Function	Natural Gas Heat
Development Sequence	R410A Development sequence		

Actual supply motor power	5.89 bhp	Actual exhaust/return motor power	1.06 bhp
Supply Fan Drive Selection	1100 rpm	Exhaust/Return fan drive selection	500 rpm
Actual supply fan speed	1074 rpm	Actual exhaust/return fan speed	550 rpm
System power	30.39 kW	EER @ AHRI	10.3 EER
IEER @ AHRI	13.8 EER		

Electrical

Max overcurrent protection	80.00 A	Min circuit ampacity	65.45 A
Min disconnect switch size	69.00 A	Recommended dual element	80.00 A
Compressor 1 count	1.00 Each	Compressor 1 RLA	20.20 A
Compressor 2 count	1.00 Each	Compressor 2 RLA	19.10 A
Supply motor count	1	Supply fan motor FLA	9.40 A
Condenser fan FLA	5.40 A	Exhaust/return fan motor FLA	4.30 A
Electric heater FLA		Other FLA	2.00 A
Crankcase heater FLA		Supply fan count	2.00 Each

Weights

Installed point load 1	599.6 lb	Installed point load 2	586.3 lb
Installed point load 3	659.3 lb	Installed point load 4	646.0 lb
Installed point load 5	710.1 lb	Installed point load 6	696.8 lb
Installed point load 7	729.6 lb	Installed point load 8	716.3 lb
COG - X dimension	13.53 ft	COG - Y dimension	3.76 ft
Total installed weight	5344.0 lb		

Coil Specification

Evaporator rows	Evaporator face area	20.30 sq ft
Evaporator fin spacing		

Acoustical Performance

Octave Band	63 Hz	125 Hz	250 Hz	500 Hz	1 kHz	2 kHz	4 kHz	8 kHz
Discharge duct	87 dB	85 dB	79 dB	77 dB	77 dB	73 dB	69 dB	66 dB
Return duct	77 dB	78 dB	72 dB	69 dB	67 dB	65 dB	58 dB	55 dB

Electrical values provided are estimated only and are subject to change without notice and may differ from nameplate values.

20-75 Ton Packaged Industrial Rooftop

Job Information



SD 65 Lake Bluff Middle School
Chicago Main Office
(B63)Alexander Lindsey

Tag	RTU-2	Model number	SFHLF25					
Nominal Capacity	25 ton Air cooled	Unit Function	Natural Gas Heat					
Development Sequence	R410A Development sequence							
Exhaust fan	71 dB	69 dB	67 dB	63 dB	59 dB	53 dB	49 dB	45 dB

Ducted Sound Power Rated in Accordance with AHRI Standard 260.

Octave Band Sound Power in dB re 1 picoWatt.

"Discharge duct" is supply fan discharge sound power in the supply duct.

"Return duct" is supply fan inlet sound power in the return duct.

"Exhaust fan" is exhaust fan inlet sound power in the return duct.

"Return duct" and "Exhaust fan" sound data must be added logarithmically to get total sound power in the return duct.

Refer to RT-EB-80 for further details on indoor sound of Intellipak rooftop units.

Electrical values provided are estimated only and are subject to change without notice and may differ from nameplate values.

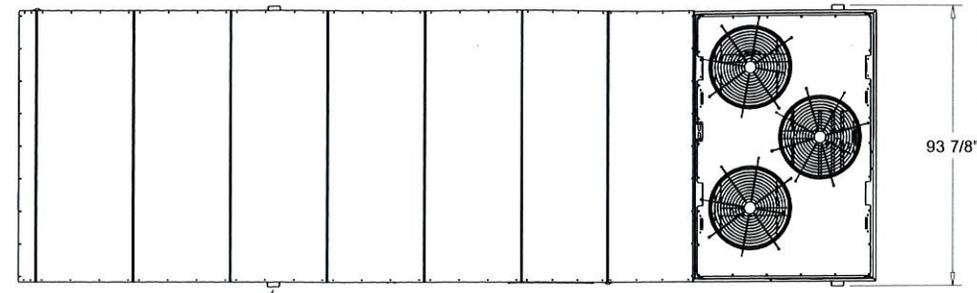


SD 65 Lake Bluff Middle School

20-75 Ton IntelliPak
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Qty: 1 Tags: RTU-2
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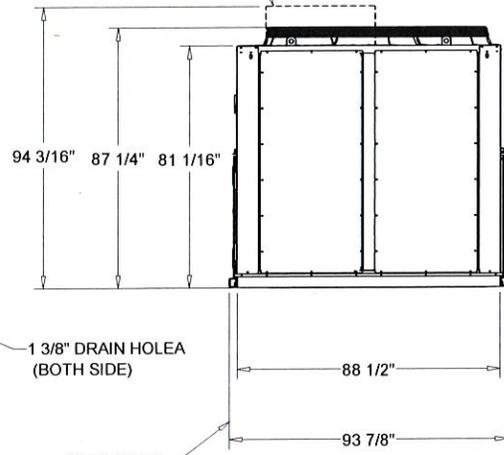
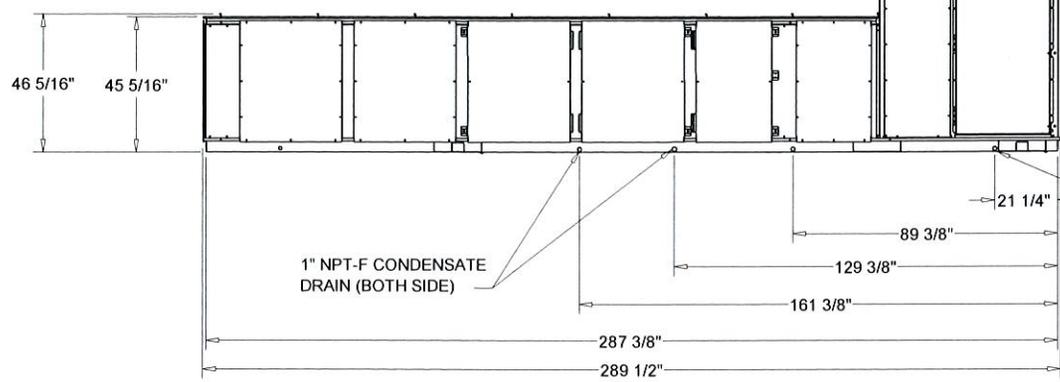
- 1. VERIFY WEIGHT, CONNECTION, AND ALL DIMENSION WITH INSTALLER DOCUMENTS BEFORE INSTALLATION
- 2. LOW AMBIENT DAMPER ONLY COMES WITH SELECTED UNIT
- 3. OVERALL UNIT WIDTH INCREASES 5/8" BEYOND LIFTING LUG WITH ULTRA LOW LEAK POWER EXHAUST DAMPERS.



LIFTING POINTS X4

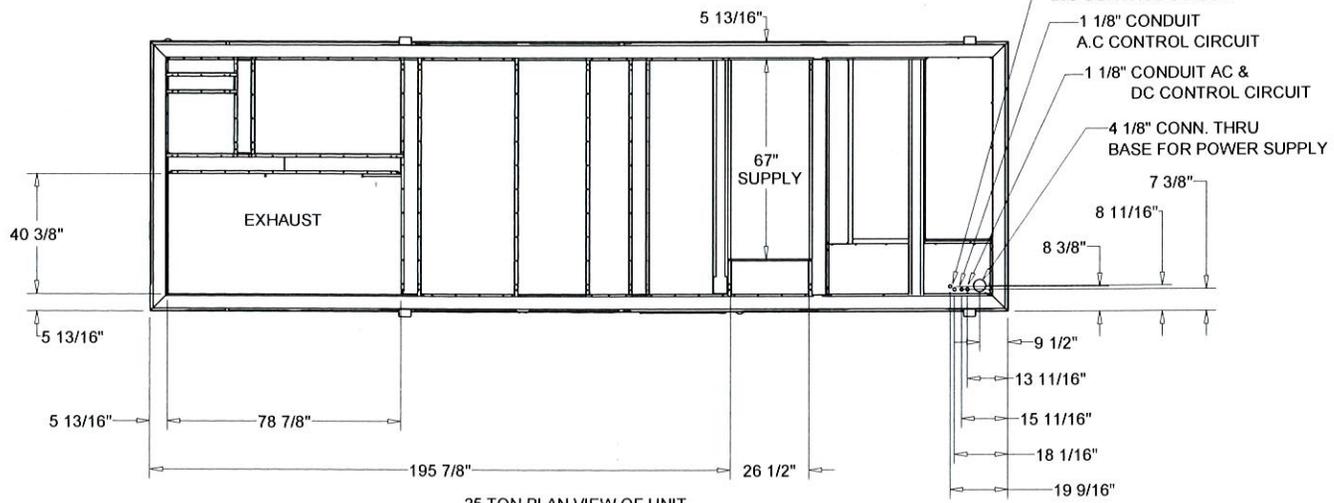
OPTIONAL LOW AMBIENT DAMPER
SEE NOTE 2

25 TON PLAN VIEW



25 TON FRONT VIEW

25 TON LEFT SIDE VIEW



25 TON PLAN VIEW OF UNIT

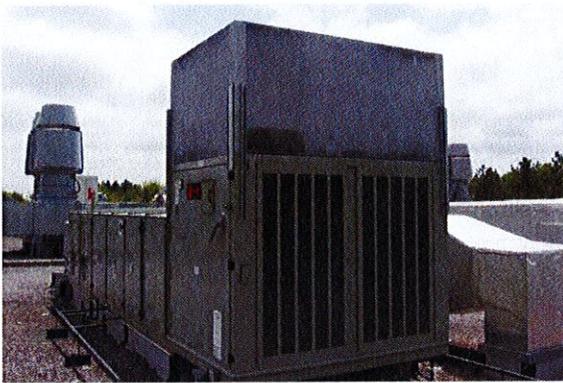
TOPSS Dimension Drawing
ALL WEIGHTS AND DIMENSIONS ARE APPROXIMATE.

**BRD****Noise and Vibration Control, Inc.**112 FAIRVIEW AVE., P.O. BOX 127, WIND GAP, PA 18091-0127 - 610-863-6300 FAX: 610-863-4230
E-mail: brd@epix.net Web: www.brd-nonoise.com

HUSHCORE™ Top-Mounted UNITARY™ System Submittal Cover Sheet

Date:
Customer:
P.O. #
Project:

Chiller Model:
Panels / Mount: HGU-200
Dimensions: L = ,
W = , H = , OAH = ”
Qty 3x3x3/8” Angle Iron:



Unitary™ System installed typically provides 4 – 6 dBA reduction of condenser fan noise. HUSHCORE™ Unitary™ System shown above retaining the condenser section of a rooftop packaged unit.

About BRD HUSH GUARD™ Products: BRD HUSH GUARD™ acoustical panels are formed using sheet metal perimeter reinforcing channels spot welded or pop riveted to a solid and a perforated sheet filled with high density acoustical insulation for an overall thickness of 2”, 4” or 6” as standard. The perforated sheet acts as a retaining screen for the insulation but is acoustically transparent allowing sound waves from the noise source to be absorbed. The outside solid sheet acts as a sound barrier reflecting incident sound waves back through the acoustic fill where further absorption takes place. Standard and custom manufactured panels assemble together using “H” joiners or by tongue and groove and are further secured using sheet metal self-tapping screws.

Standard Panel Construction:

Product Type	Best Uses	Panel Construction
HGU-200	Mid and high frequency applications or where clearance only permits a 2” thick panel.	18 gauge solid galvanized steel outer skin and 22 gauge perforated galvanized steel inner skin sandwiched around 2” of high density acoustical insulation.

Installing HUSHCORE™ Top Mount *UNITARY*™ System

Use the following quick reference guide for abbreviated HUSHCORE™ *Unitary*™ System installation instructions. Contact BRD with questions and BE SAFE!



1. Locate chiller unit framing to which the 3"x3" angle irons (supplied with HUSHCORE™ *Unitary*™ System) may be mounted. Half of the lengths of supplied angle iron will be installed and evenly distributed on one side of the chiller unit and the other half of the other side.
2. The angle iron is usually supplied by the factory in the correct length but if its length is such that it will project above the top of the *Unitary*™ System acoustical panels (typically 4' above the chiller top), then it should be field-cut to be flush with the top of the *Unitary*™ System.
3. Drill 3/8" clearance holes through the angle iron to facilitate bolting to the unit framing. Attach angles with four 3/8" bolts through the unit framing below the cooling fins and one self-drilling, self-threading (Tek) screw at the top of the unit (approximately 4' below the top of the angle iron), where no tubing or electrical lines or other interferences are located.

4. Cut base channel and cap channel (same material) to length for attachment to perimeter of chiller top. The *Unitary*™ System acoustic end panels will generally correlate to the full width of the unit and the side panels will abut to the inside of the end panels, so verify lengths of panels in order to properly locate channel placement.
5. Attach base channel using Tek screws where no tubing or electrical lines or other interferences are located.
6. Mount panels in base channel, using H-joiners between adjoining side panels, corner flashing (inside and outside) on the ends, and cap channel on the top. (Corner flashing may have to be cut to length in the field.)
7. Secure panels to channel, H-joiner, and flashing using Tek screws on 2' centers and secure panels to angle iron using Tek screws on 1' centers.

Panel Acoustic Performance Data:

Product	Sound Transmission Loss (dB) Frequency (Hz)						STC
	125	250	500	1000	2000	4000	
HGU-200	17	23	34	47	55	57	37

Product	Sound Absorption Coefficients Per Frequency (Hz)						NRC
	125	250	500	1000	2000	4000	
HGU-200	.15	.66	1.07	1.06	.97	.86	.95

HUSH COVER™
Removable Sound Insulation

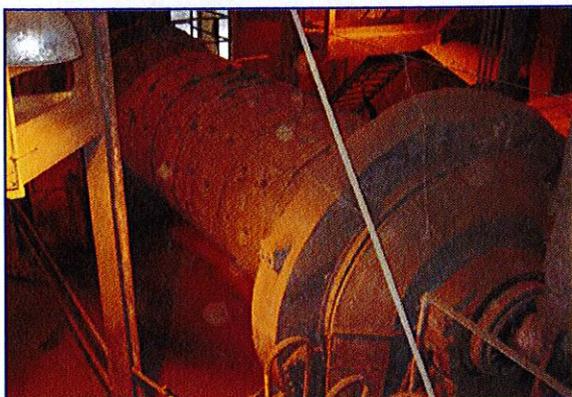
Absorbers
Barriers
Composites
Damping & Diffusion
Electronic
Flow Control

Source/Airborne
Source/Structure
Path/Direct
Path/Indirect
Receiver

Industrial
Architectural
HVAC
OEM
Environmental

Product Data Section

Removable/Reusable Blanket Insulation For Sound Attenuation At The Source



Ball Mill Wrap with exposed liner bolts at a cement plant.



HUSH COVER™ Model HC-500S-1" blankets for air cooled screw chiller compressors.

Advantages:

- Completely removable and reusable
- Easy to install
- Can be reused after maintenance
- Custom-fit to existing conditions
- Guaranteed fit
- Predictable performance based on laboratory tests
- Suitable for harsh environments where solvents, acids, oils, and other contaminants are present
- Outdoor weather-resistant construction
- High temperature capability
- Self-contained insulation system
- Asbestos free
- Good combination of acoustic and thermal performance

Applications:

- Fans and blowers
- Compressor housings
- Gear boxes
- Valves
- Ejectors
- Steam and gas turbine casings
- Pumps
- Pipes and ducts
- Expansion joints
- Any hard to treat, irregular surface where removability is important
- Chillers and refrigeration equipment
- Engine exhaust systems
- Personnel protection (high temperature) for surfaces above 140°F
- Ball mills

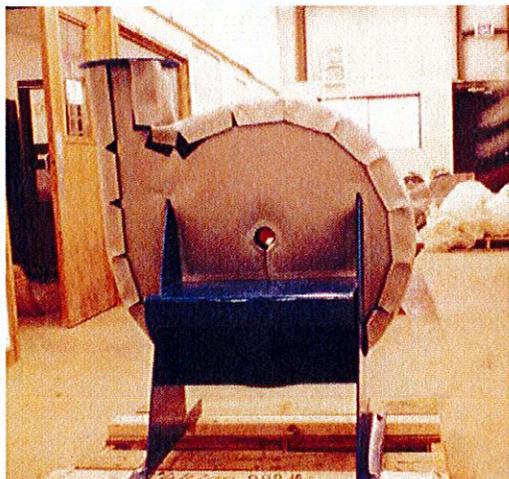
GUARANTEED FIT ON ALL APPLICATIONS!

Product Data Section

About BRD HUSH COVER™

Acoustic Insulation:

BRD HUSH COVER™ acoustic blanket insulation is an extremely versatile and efficient solution to common industrial noise problems. It combines high density fiberglass mat with a mass-loaded vinyl sandwiched inside a weatherproof jacketing. The purpose of the fiberglass is to reduce reflected noise and to absorb noise energy, while the mass-loaded vinyl blocks transmitted noise. The fiberglass also has excellent thermal insulation qualities. Combining both an absorber material and a barrier material that are well matched yields a highly efficient and cost-effective means for solving industrial noise control problems.



Pressure blower housing treated with two-piece Velcro system.

Service:

The standard design (HC-450) can be used on equipment not exceeding 450°F (232°C). Other designs are available for equipment with temperatures exceeding 450°F.

Design Components For HC-500S

OUTER JACKET: 16 oz./yd.² PTFE silicone impregnated fiberglass cloth

ACOUSTIC BARRIER: Barium sulfate loaded vinyl (1 lb. to 2 lb. density)

INSULATION: Fiberglass needle mat (11 lbs./ft.³ density)

INNER JACKET: 16 oz./yd.² PTFE silicone impregnated fiberglass cloth



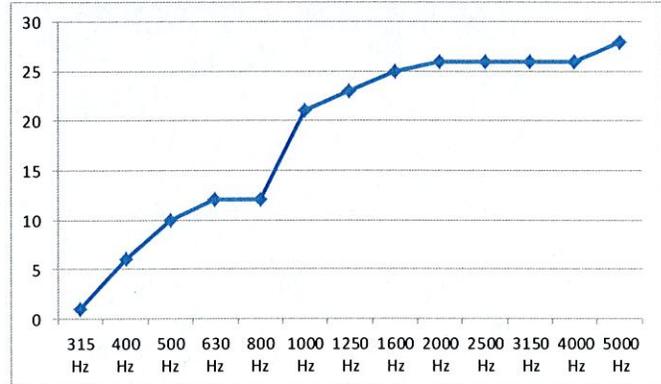
HC-800 is suitable for up to 800° F. HC-1200 is suitable for up to 1200° F. Design components for these and other custom HUSH COVERS™ are available upon request.

HUSH COVER™
Removable Sound Insulation

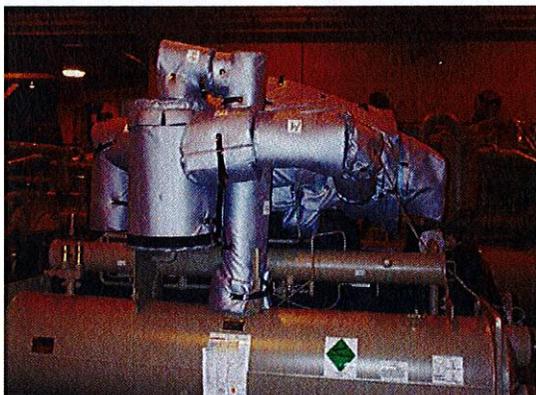
General Information
Technical Information
Application Details
New Products
Installation Guidelines
Accessories
Selection Information

Product Data Section

Test Frequency (in Hz)	Noise Reduction (in dB)
315	1
400	6
500	10
630	12
800	12
1000	21
1250	23
1600	25
200	26
2500	26
3150	26
4000	26
5000	28



The above data is representative of ASTM test procedure E-1222-87 for the laboratory measurement of the insertion loss of pipe lagging systems. BRD will not be warranted for performance results of HUSH COVER™ blanket insulation expressed or implied. Additional test data is available for a variety of blanket constructions.



Liquid cooled screw chiller noise is tamed using HUSH COVER™ model HC-500S-1"



Ball mill HUSH COVER™ using HC-500S-1" with banding attachment.

Acoustic Field Test Results

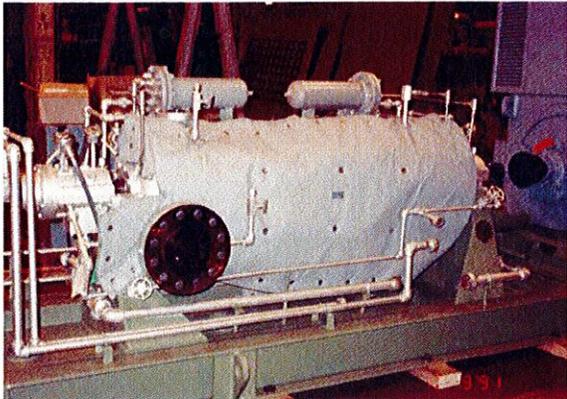
Based on previously tested installations, actual dBA reductions range between 3 – 5 dBA for HC-500S-1" and 4 – 6 dBA for HC-500S-2".

True performance estimates must include field verification of dBA levels and frequency concentrations on an application basis.

Product Data Section

General Installation Instructions

1. Many of the blankets will have 2" flaps on the edges. These flaps are to be installed so that the flap on the upper blanket will cover over the edge of the lower blanket, creating a shingle effect.



Boiler feedwater pump at fit-up prior to lacing.

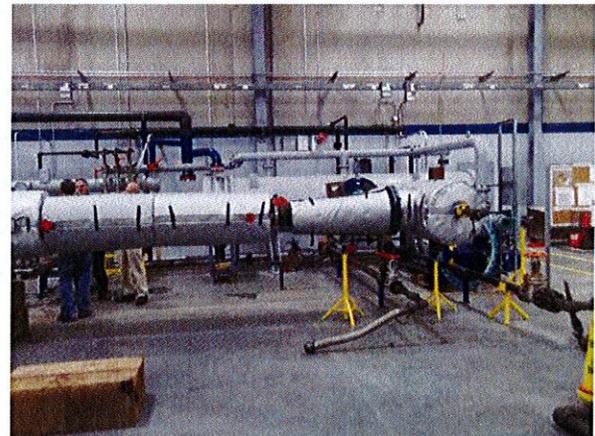
2. Blanket installation should follow the recommended order of installation provided on the assembly drawings. Most blankets will either seam at the horizontal or vertical centerlines. All panels are tagged for easy identification.

3. "D" Ring assemblies have been provided to ease installation. To use, simply lace the strap through the adjoining blankets "D" Ring assembly and secure. Velcro Flaps are provided to permanently secure closing seams and to lock material in place.

4. Occasionally, certain blankets may be difficult to install due to space limitations or obstructions. If this occurs, it may be necessary to modify the blanket's shape or size. Stainless steel staples are the recommended closure method for any modifications.

5. Generally, all tags should read from left to right and will be oriented horizontally. This will show the correct orientation of the acoustic blanket.

BRD Installation Services Available

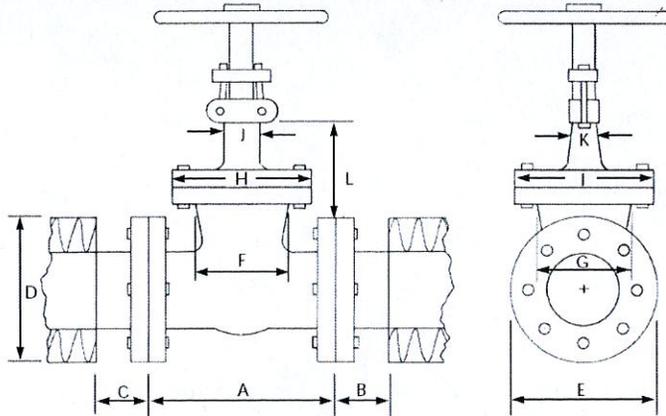


Before and after views showing Velcro installation of HUSH COVER™ multi-piece design for a steam ejector.

HUSH COVER™
Removable Sound Insulation

Product Data Section

General Information
Technical Information
Application Details
New Products
Installation Guidelines
Accessories
Selection Information



**Valve Cover
Take-Off Sheet**

A	B	C	D
E	F	G	H
I	J	K	L

- HUSH COVER™ blankets can be quoted based on field sketches, equipment cut sheets or templates created in the field.
- Standard items such as valves, elbows, fittings, pumps, etc. can be quoted based on standardized take-off sheets such as the one shown above.
- Field measurements by a qualified BRD Representative may be required prior to fabrication.
- Fabrication techniques include computer aided design (CAD) capabilities to assure proper fit (see below).
- HUSH COVER™ designs are complete and require no additional tools or materials.
- When requesting a quotation, please supply the make and model of the equipment if known.
- For OEM applications, private labeling can be provided to meet customer specifications.



HUSH COVER™ on air cooled screw chiller suction lines, compressor, discharge line and oil separator.



Typical "D" ring and strap attachment feature

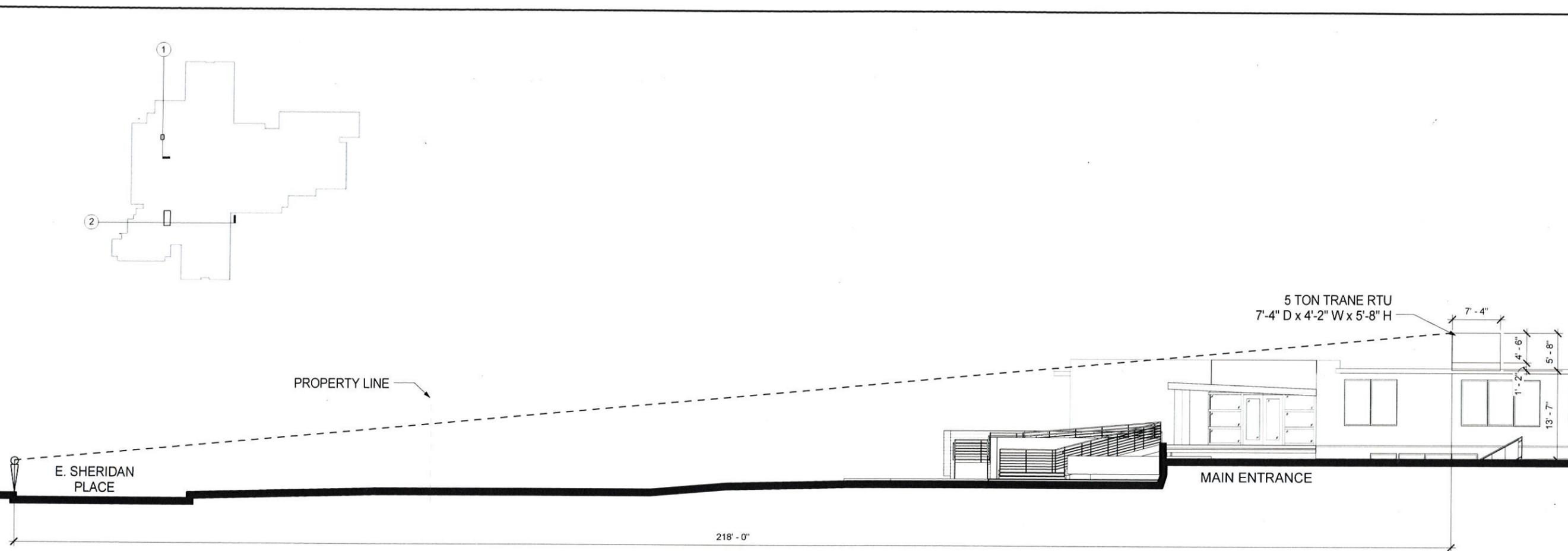
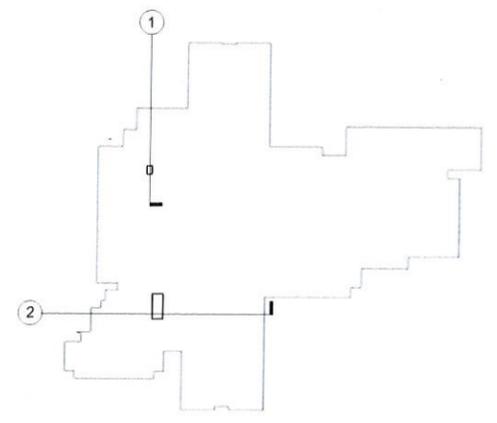


LAKE BLUFF SCHOOLS
DISTRICT 65

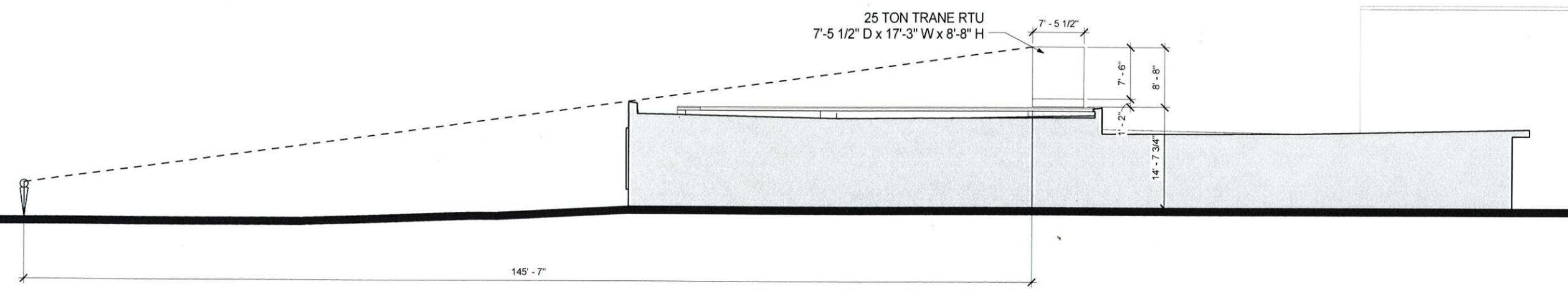
LAKE BLUFF ELEMENTARY
SCHOOL DISTRICT 65



Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979



1 SIGHT LINES - NORTH RTU
A4.0



2 SIGHT LINES - SOUTH RTU
A4.0

REV	DESCRIPTION	DATE
	PCZBA # ABR SUBMITTAL	11-18-2015

**LAKE BLUFF SCHOOL
DISTRICT 65**

31 E SHERIDAN PLACE
LAKE BLUFF, IL 60044

**ROOF TOP UNIT
SIGHT LINES**

Project Number:
02-5014-05
Drawn By:



LAKE BLUFF SCHOOLS
DISTRICT 65

LAKE BLUFF ELEMENTARY
SCHOOL DISTRICT 65

Wight

Wight & Company

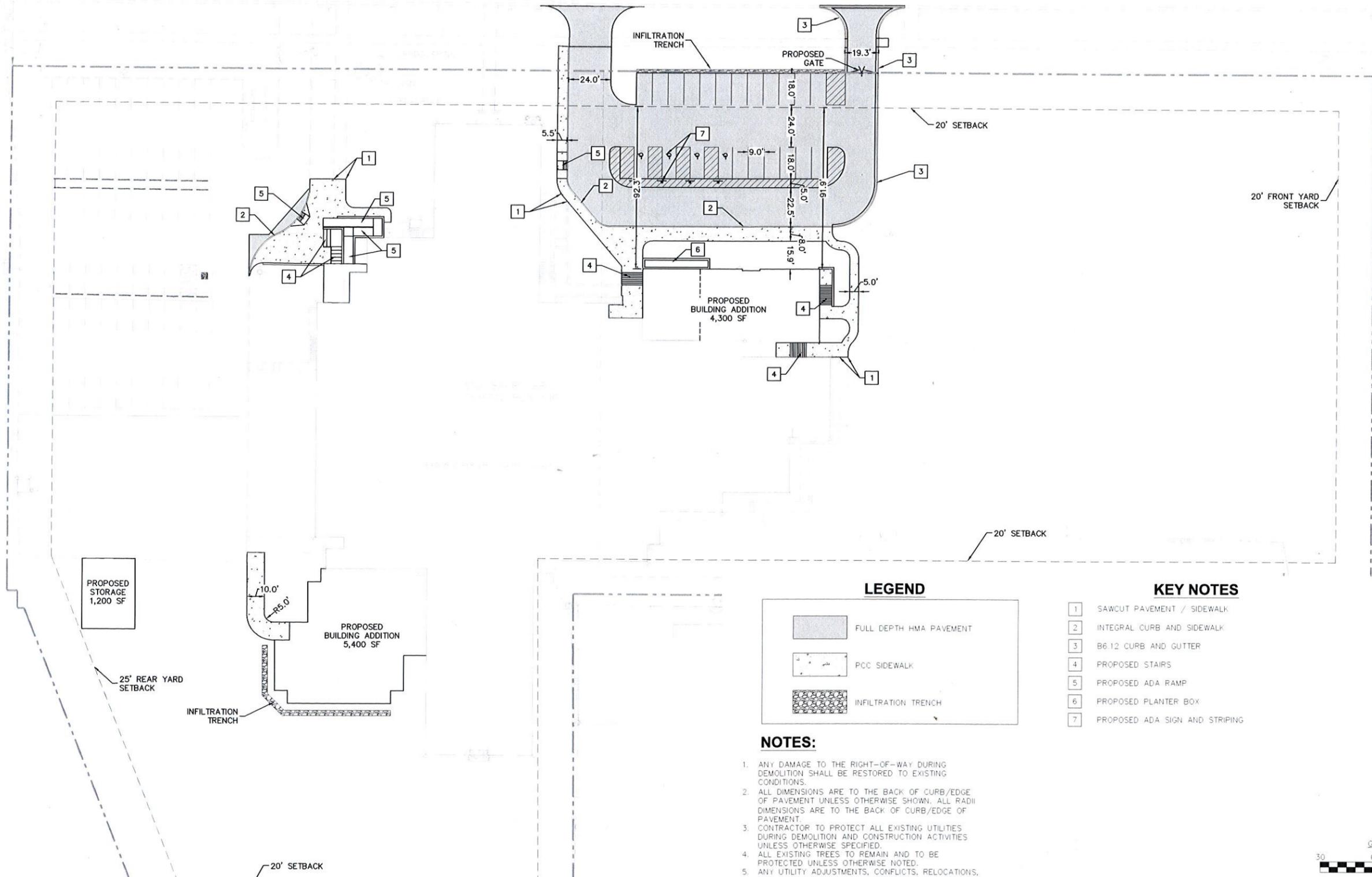
wightco.com

2500 North Frontage Road

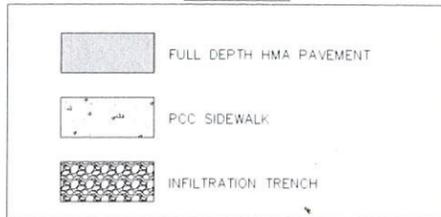
Darien, IL 60561

P 630.969.7000

F 630.969.7979



LEGEND

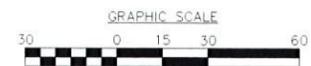


NOTES:

1. ANY DAMAGE TO THE RIGHT-OF-WAY DURING DEMOLITION SHALL BE RESTORED TO EXISTING CONDITIONS.
2. ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. ALL RADII DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT.
3. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES UNLESS OTHERWISE SPECIFIED.
4. ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE NOTED.
5. ANY UTILITY ADJUSTMENTS, CONFLICTS, RELOCATIONS, ETC. REQUIRED SHALL BE COORDINATED WITH...

KEY NOTES

1. SAWCUT PAVEMENT / SIDEWALK
2. INTEGRAL CURB AND SIDEWALK
3. B6.12 CURB AND GUTTER
4. PROPOSED STAIRS
5. PROPOSED ADA RAMP
6. PROPOSED PLANTER BOX
7. PROPOSED ADA SIGN AND STRIPING



PCZBA # ABR SUBMITTAL 11-18-2015

REV DESCRIPTION DATE

LAKE BLUFF SCHOOL DISTRICT 65

31 E SHERIDAN PLACE
LAKE BLUFF, IL 60044

SITE PLAN

Project Number:

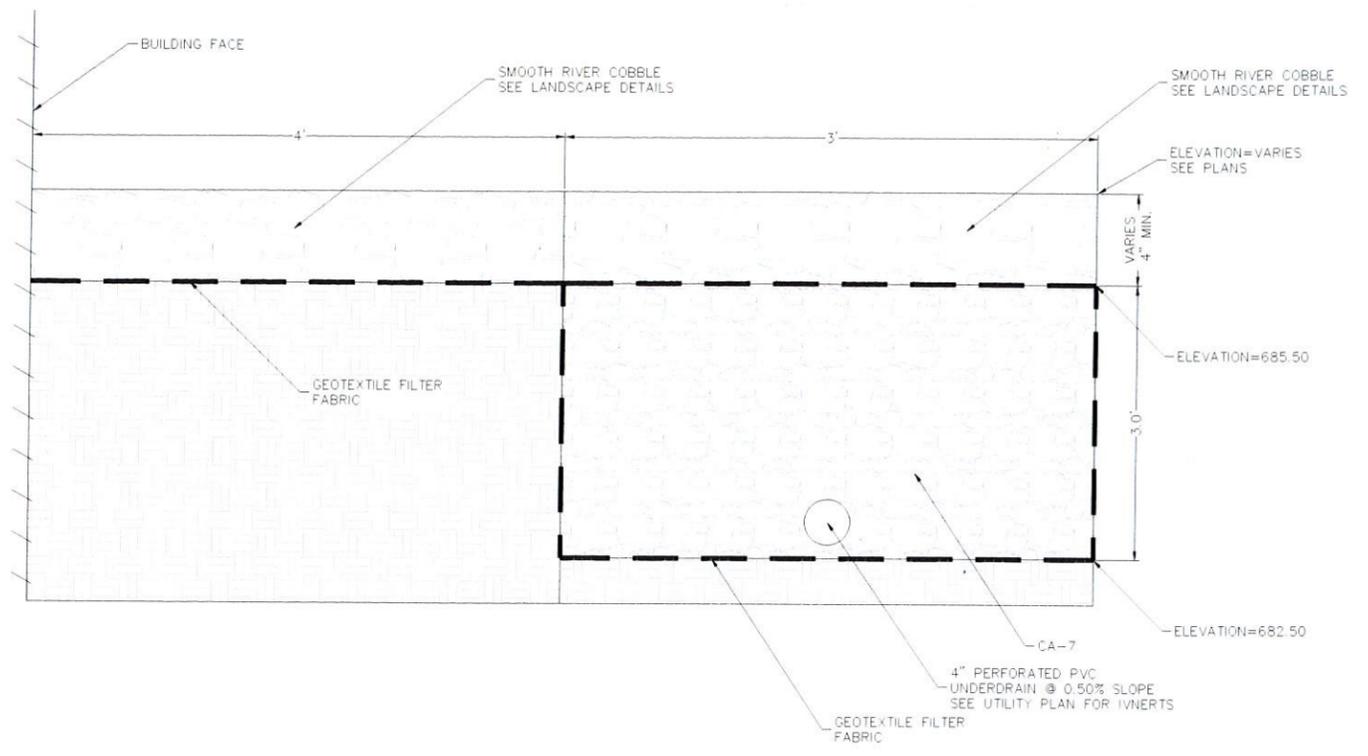
01-5074-05

Drawn By:

ME

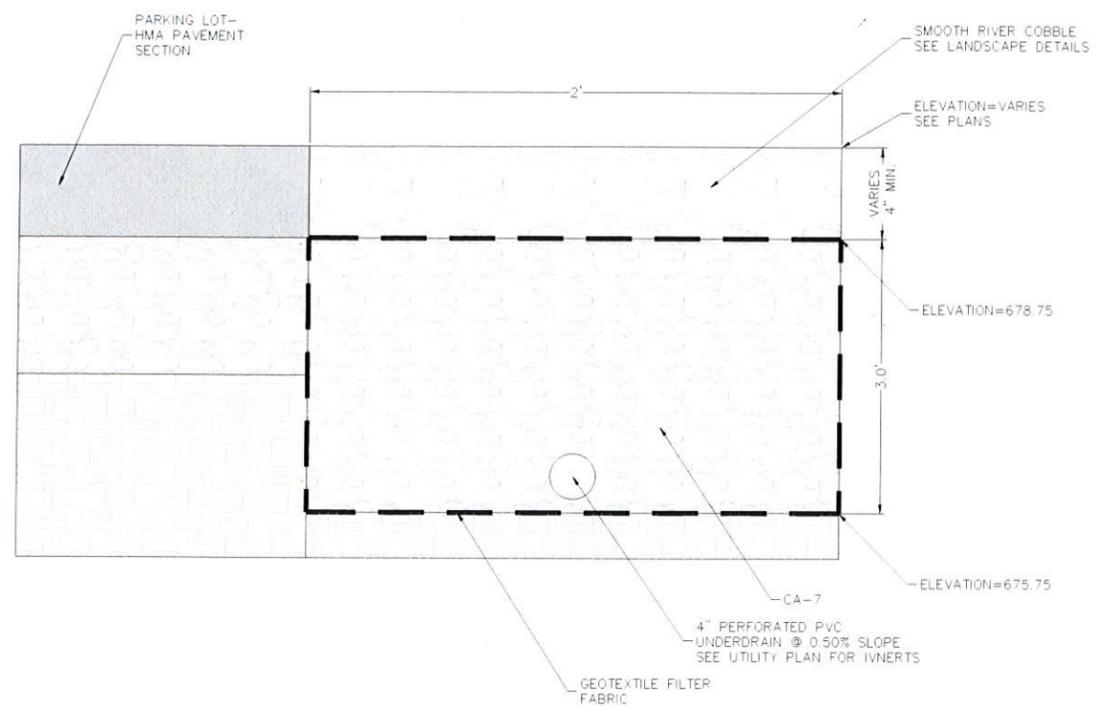
1
C5.02

BMP#1 - SW INFILTRATION TRENCH



2
C5.02

BMP#2 - NE INFILTRATION TRENCH



**LAKE BLUFF SCHOOLS
DISTRICT 65**

**LAKE BLUFF ELEMENTARY
SCHOOL DISTRICT 65**



Wight & Company
 wightco.com
 2500 North Frontage Road
 Darien, IL 60561
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 F 630.969.7979

REV	DESCRIPTION	DATE

**LAKE BLUFF SCHOOL
DISTRICT 65**

31 E SHERIDAN PLACE
LAKE BLUFF, IL 60044

CIVIL DETAILS

Project Number:
01-5074-05
 Drawn By:
R.E.



LAKE BLUFF SCHOOLS
DISTRICT 65

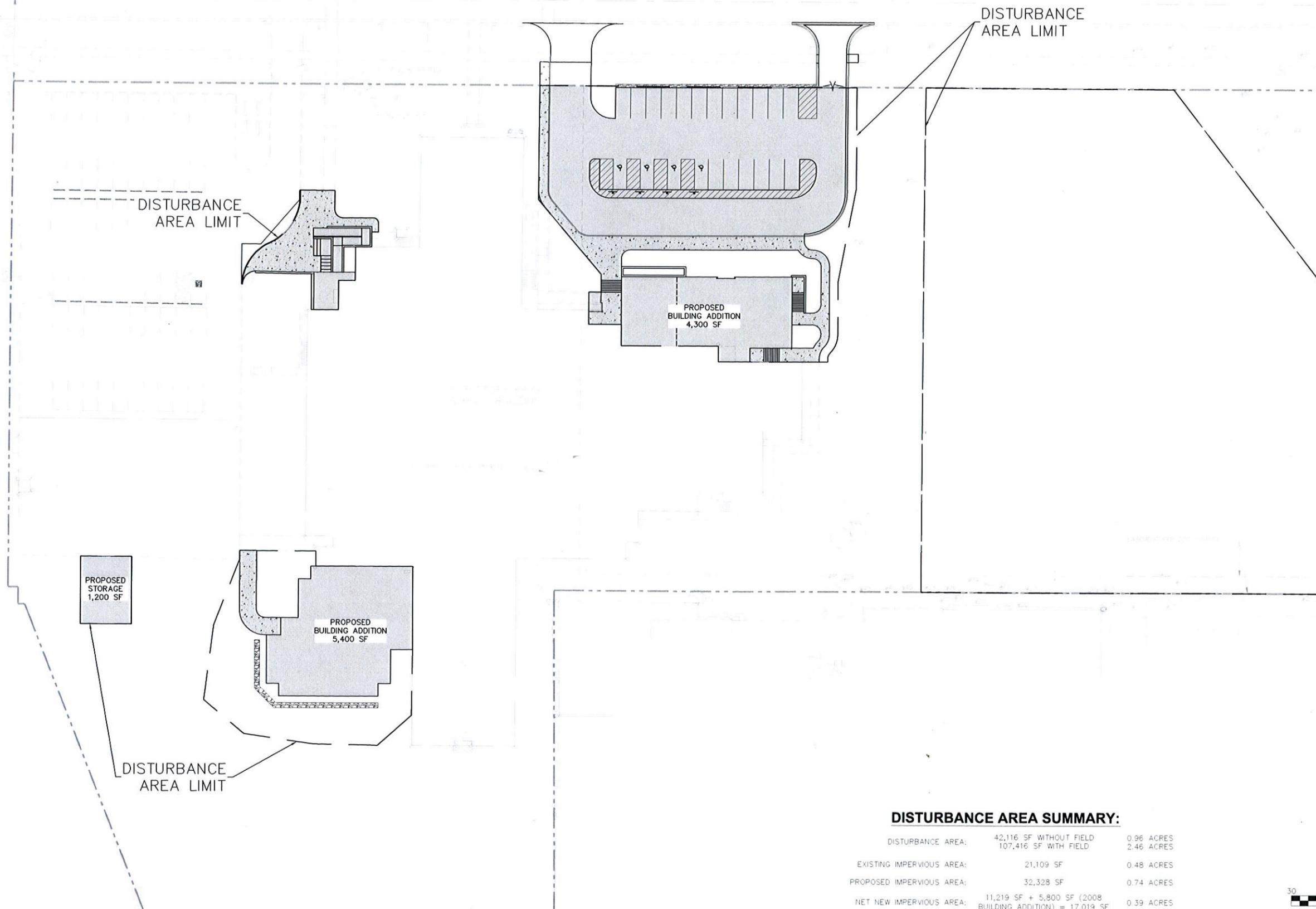
LAKE BLUFF ELEMENTARY
SCHOOL DISTRICT 65



Wight & Company
wightco.com

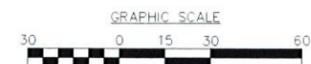
2500 North Frontage Road
Darien, IL 60561

P 630.969.7000
F 630.969.7979



DISTURBANCE AREA SUMMARY:

DISTURBANCE AREA:	42,116 SF WITHOUT FIELD 107,416 SF WITH FIELD	0.96 ACRES 2.46 ACRES
EXISTING IMPERVIOUS AREA:	21,109 SF	0.48 ACRES
PROPOSED IMPERVIOUS AREA:	32,328 SF	0.74 ACRES
NET NEW IMPERVIOUS AREA:	11,219 SF + 5,800 SF (2008 BUILDING ADDITION) = 17,019 SF	0.39 ACRES



PCZBA & ABR SUBMITTAL 11-18-2015

REV DESCRIPTION DATE

**LAKE BLUFF SCHOOL
DISTRICT 65**

31 E SHERIDAN PLACE
LAKE BLUFF, IL 60044

**PROPOSED CONDITIONS
EXHIBIT**

Project Number:
01-5014-05

Drawn By:
DF

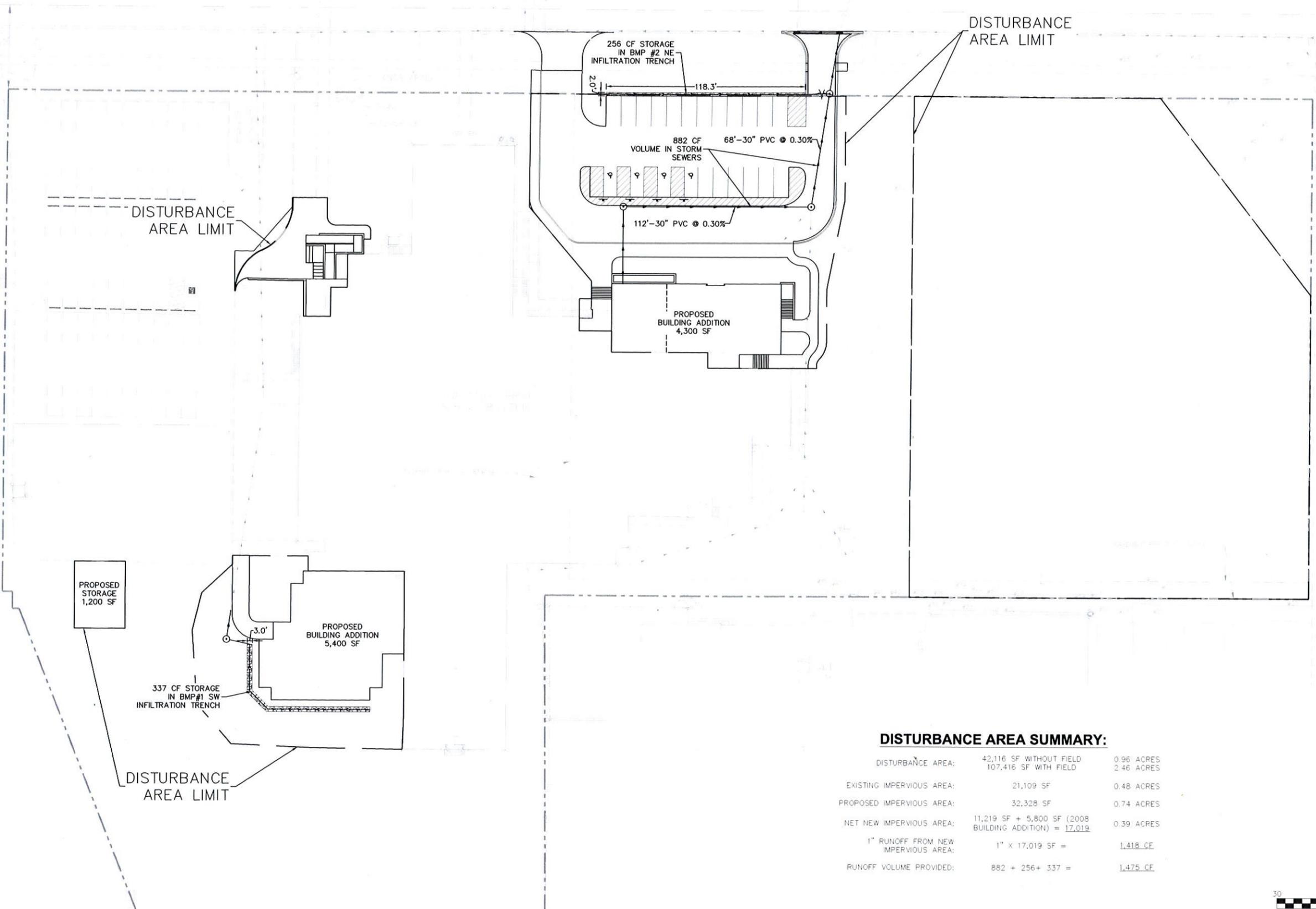


LAKE BLUFF SCHOOLS
DISTRICT 65

LAKE BLUFF ELEMENTARY
SCHOOL DISTRICT 65

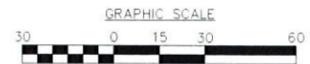
Wight

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Darien, IL 60561
P 630.969.7000
F 630.969.7979



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EXISTING IMPERVIOUS AREA:	21,109 SF	0.48 ACRES
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NET NEW IMPERVIOUS AREA:	11,219 SF + 5,800 SF (2008 BUILDING ADDITION) = 17,019	0.39 ACRES
1" RUNOFF FROM NEW IMPERVIOUS AREA:	1" x 17,019 SF =	1,418 CF
RUNOFF VOLUME PROVIDED:	882 + 256 + 337 =	1,475 CF



PCZBA & ABR SUBMITTAL 11-18-2015

REV DESCRIPTION DATE

LAKE BLUFF SCHOOL DISTRICT 65

31 E SHERIDAN PLACE
LAKE BLUFF, IL 60044

STORMWATER EXHIBIT

Project Number:
01-5074-05
Drawn By:
ME

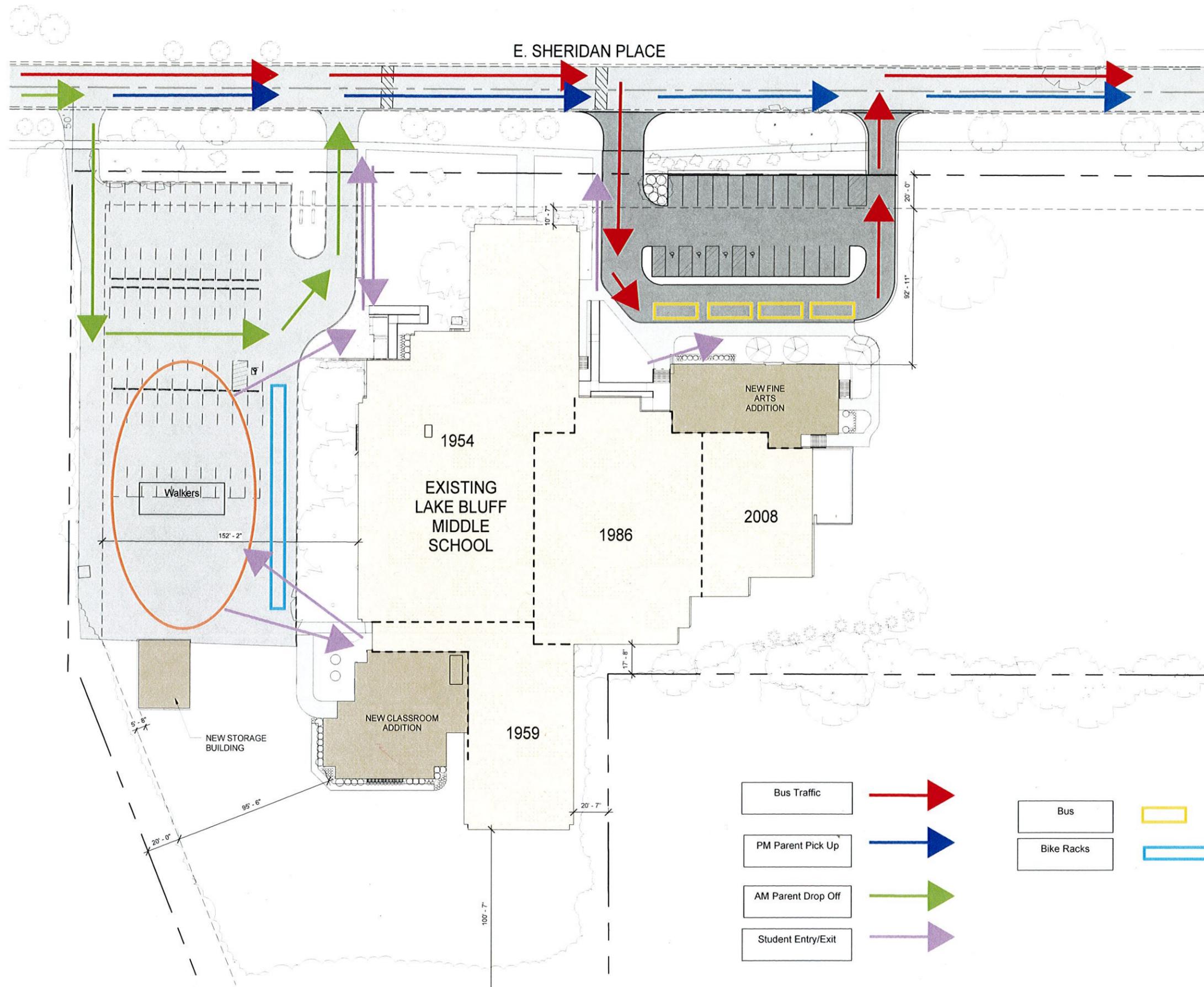


LAKE BLUFF SCHOOLS
DISTRICT 65

LAKE BLUFF ELEMENTARY
SCHOOL DISTRICT 65

Wight

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PCZBA & ABR SUBMITTAL II-18-2015
REV DESCRIPTION DATE

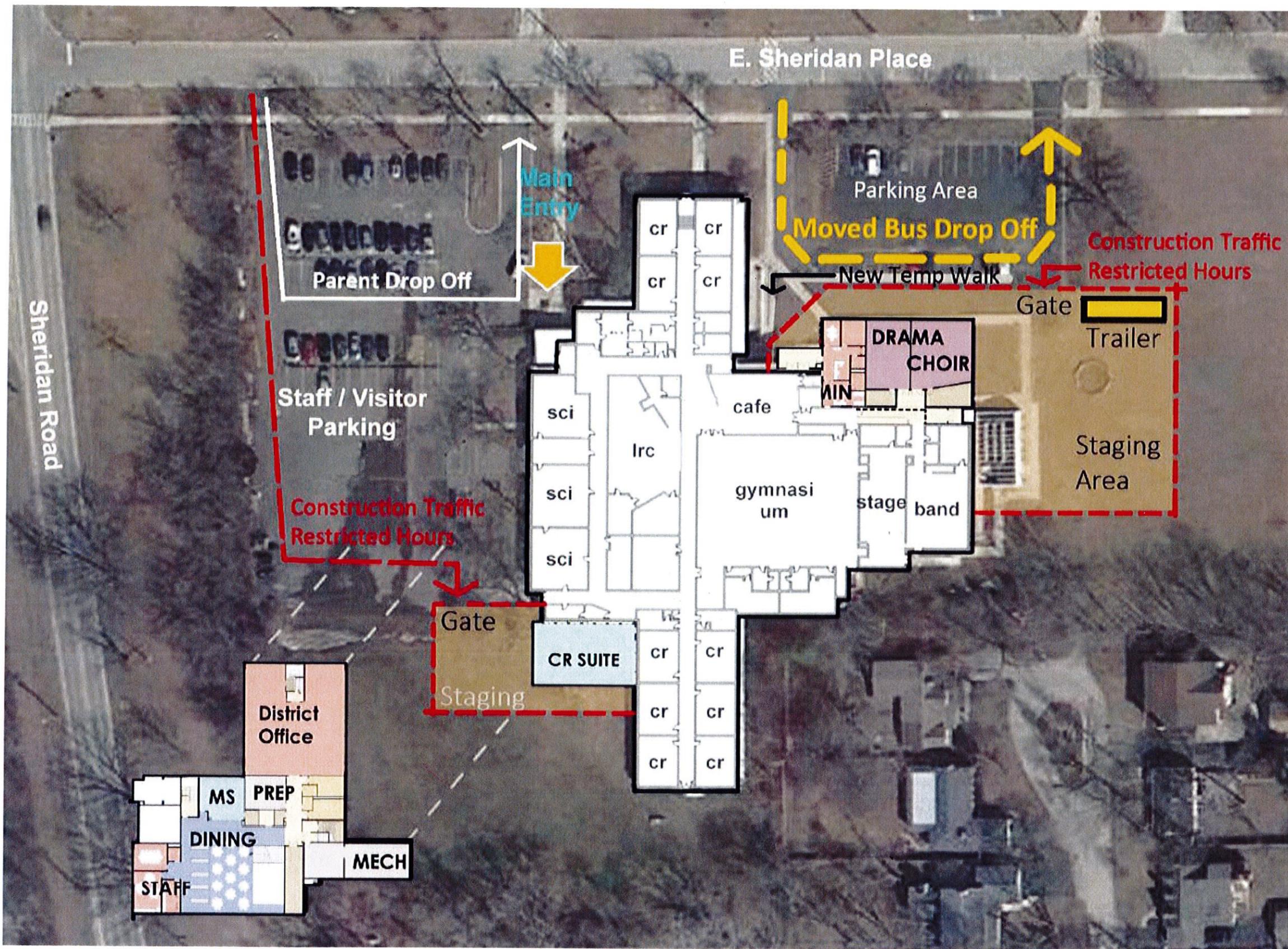
LAKE BLUFF SCHOOL DISTRICT 65

31 E SHERIDAN PLACE
LAKE BLUFF, IL 60044

TRAFFIC FLOW

Project Number:
02-5074-05
Drawn By:





LAKE BLUFF SCHOOLS
DISTRICT 65

LAKE BLUFF ELEMENTARY
SCHOOL DISTRICT 65



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Darien, IL 60561
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F 630.969.7979

REV	DESCRIPTION	DATE
	PCZBA & ABR SUBMITTAL	11-18-2015

**LAKE BLUFF SCHOOL
DISTRICT 65**

31 E SHERIDAN PLACE
LAKE BLUFF, IL 60044

STAGING

Project Number:
02-5014-05
Drawn By:



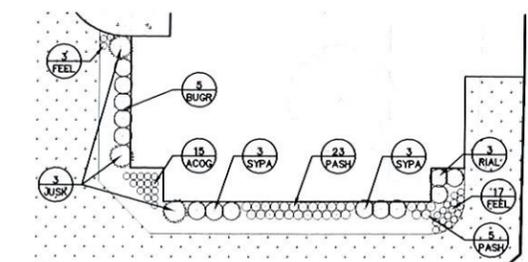
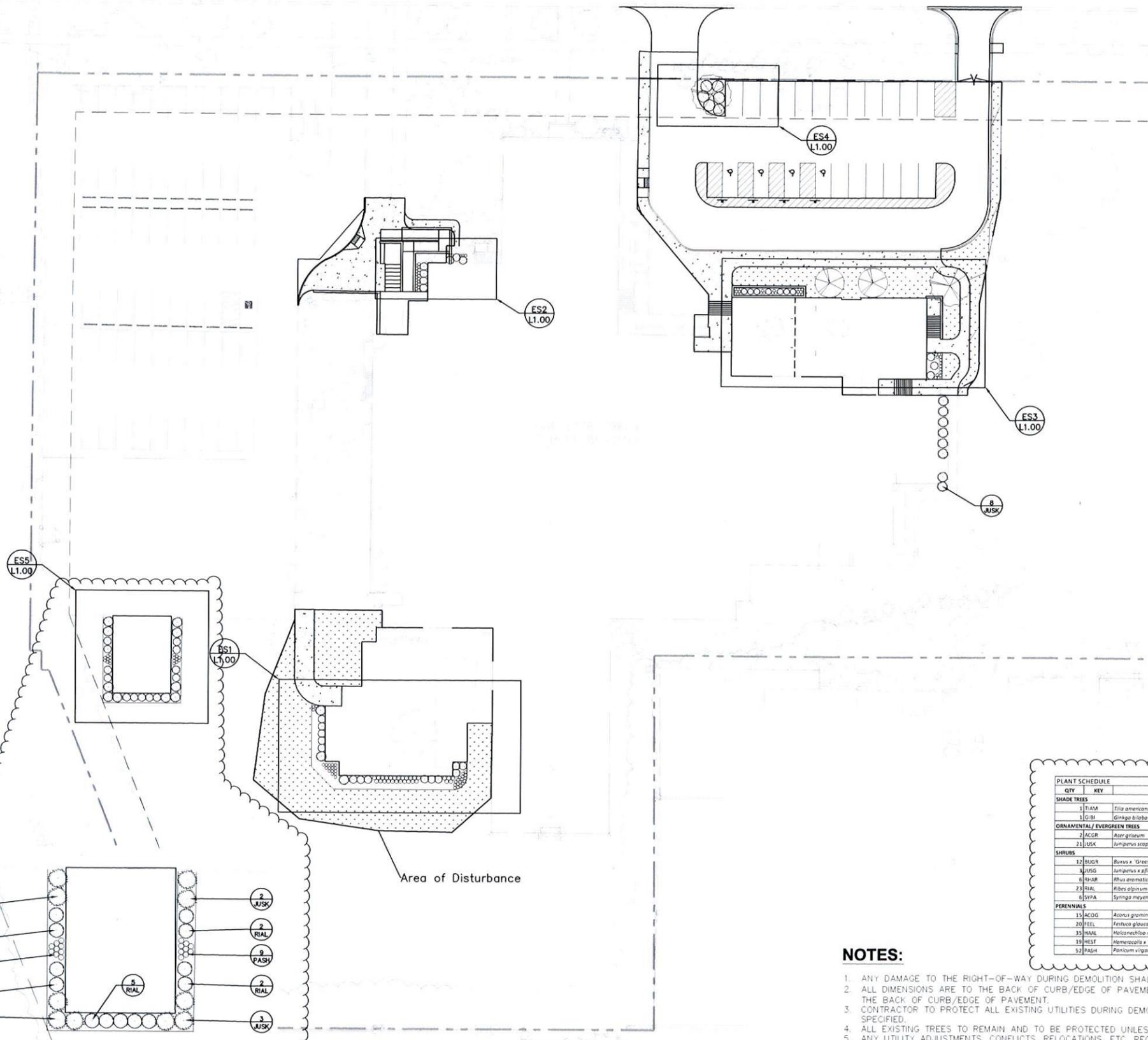


LAKE BLUFF SCHOOLS
DISTRICT 65

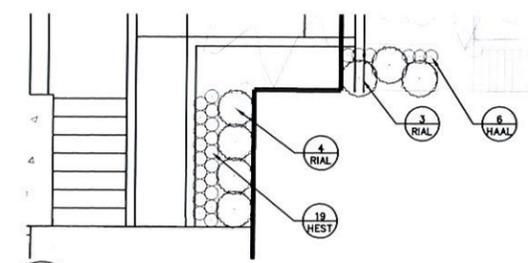
LAKE BLUFF ELEMENTARY
SCHOOL DISTRICT 65

Wight

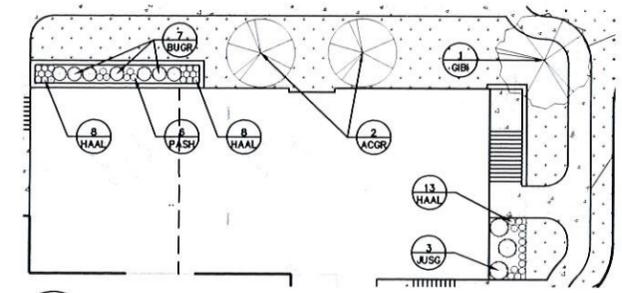
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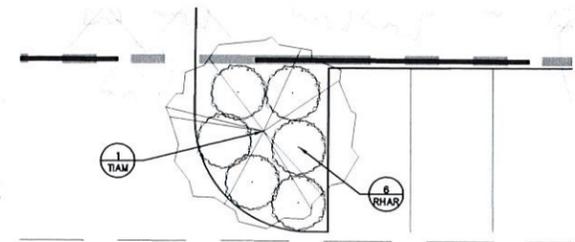
ES1 ENLARGED LANDSCAPE PLAN 1
L1.00 SCALE: 1"=20'



ES2 ENLARGED LANDSCAPE PLAN 2
L1.00 SCALE: 1"=10'



ES3 ENLARGED LANDSCAPE PLAN 3
L1.00 SCALE: 1"=20'



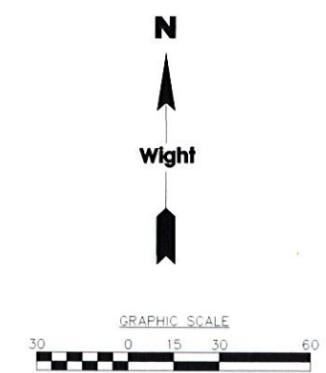
ES4 ENLARGED LANDSCAPE PLAN 4
L1.00 SCALE: 1"=10'



PLANT SCHEDULE						
QTY	KEY	Botanical Name	Common Name	Size	Root	Spacing
SHADE TREES						
1	TIAM	<i>Tilia americana</i>	American Linden	3" caliper	B&B	as shown
1	GIKI	<i>Ginkgo biloba</i>	Ginkgo (male)	3" caliper	B&B	as shown
ORNAMENTAL/ EVERGREEN TREES						
2	ACGR	<i>Acer griseum</i>	Paperbark Maple	2" cal.	B&B	as shown
21	JUSK	<i>Juniperus scopulorum</i>	Skyrocket Juniper	8"	B&B	as shown
SHRUBS						
12	BUGR	<i>Buxus</i> s. 'Green Mountain'	Green Mountain Boxwood	#7	cont.	as shown
4	JUSG	<i>Juniperus x glaucovaria</i> 'Sea Green'	Sea Green Juniper	#7	cont.	as shown
6	RIAR	<i>Rhus aromatica</i> 'Gracelow'	Gracelow Fragrant Sumac	#7	cont.	as shown
23	RIAL	<i>Ribes alpinum</i>	Alpine Currant	#5	cont.	as shown
6	SYPA	<i>Syringa meyeri</i> 'Palibin'	Dwarf Korean Lilac	#7	cont.	as shown
PERENNIALS						
15	ACOG	<i>Acorus gramineus</i> 'Ogon'	Golden Variegated Sweet Flag	#1	cont.	18" o.c.
20	FEEL	<i>Festuca glauca</i> 'Elijah Blue'	Elijah Blue Fescue	#1	cont.	as shown
35	HAAL	<i>Habenaria macrochaeta</i> 'All Gold'	Japanese Forestgrass	#1	cont.	18" o.c.
19	HEST	<i>Hemerocallis</i> s. 'Stella de Oro'	Stella de Oro Daylily	#1	cont.	18" o.c.
52	PASH	<i>Pennisetum virgatum</i> 'Shenandoah'	Shenandoah Switchgrass	#1	cont.	18" o.c.

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PCZBA & ABR SUBMITTAL 11-18-2015
REV DESCRIPTION DATE

**LAKE BLUFF SCHOOL
DISTRICT 65**

31 E SHERIDAN PLACE
LAKE BLUFF, IL 60044

LANDSCAPE PLAN

Project Number:
01-5074-05
Drawn By:
ci

VILLAGE OF LAKE BLUFF

Memorandum

TO: Chair Kraus and Members of the Joint Plan Commission & Zoning Board of Appeals

FROM: Brandon J. Stanick, Assistant to the Village Administrator

DATE: November 13, 2015

SUBJECT: **Agenda Item #4 - Lake Bluff Middle School SUP Amendment and Related Zoning Relief**

Applicant Information:	Lake Bluff School District #65 (Petitioners & Owners)
Location:	31 E. Sheridan Place
Existing Zoning:	R-4 Zoning District (single-family residential)
Purpose:	To renovate the Middle School building by adding a fine arts addition, five new class rooms, a new storage building and reconfiguring the interior space of the top and lower floors.
Requested Action:	Seeking an amendment to the existing special use permit (SUP), zoning relief from the maximum gross floor area regulations and any related relief for the renovation of the Middle School.
Public Notice:	<i>Lake County News Sun</i> – October 31, 2015
Lot Area:	287,088 sq. ft. (6.6 acres)
Existing Land Use:	School
Surrounding Land Use:	<ul style="list-style-type: none"> • North: Park and recreation • East: Single-family residential • South: Single-family residential • West: Single-family residential
Comprehensive Plan Land Use Objectives:	<ul style="list-style-type: none"> • Preserve the unique residential character of the area; and • Encourage rehabilitation and control redevelopment in an orderly manner compatible with neighboring properties.
Zoning History:	<ul style="list-style-type: none"> • Ordinance granting SUP for a school and a 278.5% variation from the maximum gross floor area regulations (Ord. 2008-07); and • Ordinance granting a 120% variation from the maximum fence height regulations for a sound attenuation wall (Ord. 2012-06).
Applicable Land Use Regulations:	<ul style="list-style-type: none"> • R-4 Maximum Gross Floor Area Regulations • Ord. 2008-07, granting a SUP and zoning relief

Background and Summary

On October 1, 2015 School District #65 (Petitioner) Officials and representatives from Wight & Company (Petitioner's project design consultant) met with Village Staff to review the proposed renovations to the Lake Bluff Middle School located at 31 E. Sheridan Place. The renovations include a new fine arts addition (4,300 sq. ft.), a new classroom addition (5,400 sq. ft.) providing for five new classrooms, a new storage building (1,200 sq. ft.) placed near the westerly property line, as well as a new parking/circulation lot along E. Sheridan Place. At its meeting on October 21st, the PCZBA and the Architectural Board of Review (ABR) conducted a joint workshop to review preliminary plans and provide feedback to the Petitioner and the project design team. Shortly thereafter the Chairs of the PCZBA and ABR met with the Petitioner and project design team to review the responses to the feedback, which is provided in the attached zoning application materials.

Zoning Analysis

The Lake Bluff Middle School building is located on a lot 287,088 sq. ft. (approximately 6.6 acres) in size. Pursuant to the Village's zoning regulations, 32,308.80 sq. ft. of floor area is allowed. According to the materials, the floor area of the existing building is estimated at 49,233 sq. ft., exceeding the allowable area by 52.38%. The proposed renovations include an estimated 9,700 sq. ft. of additional floor area, exceeding the allowable floor area by 82.41%.

The project design consultant is presently working to confirm the existing gross floor area, as well as the additional gross floor area of the renovations. The amount of zoning relief will be confirmed and provided to the PCZBA through email prior to its meeting on Wednesday night. Additionally, the project design team will provide revised drawings and plans for the PCZBA at the meeting. A set of preliminary plans is attached to show the detail related to the proposed renovations.

The Petitioners have provided statements addressing the standards for variation in the attached zoning application. The PCZBA should consider if the Petitioners' statements and submitted materials satisfy the established standards for variation.

Included for the PCZBA's information is a memorandum from Village Engineer Jeff Hansen concerning the stormwater requirements for the proposed project.

PCZBA Authority

The PCZBA has the authority to:

- Recommend the Village Board approve, approve with conditions or deny the proposed amendment to the SUP and related zoning relief.

Recommendation

Following the public hearing to consider the requested amendment to the SUP and related zoning relief, the PCZBA should take one of the following actions:

- If more information is required, continue the public hearing to a date certain to allow the Petitioner to provide additional information; or
- If more information is not required, vote to:
 - Recommend approval, approval with conditions or denial of the proposed amendment to the SUP and related zoning relief.

Attachments

- Petitioners' zoning application and related material;
- A memorandum dated November 13, 2015 from Village Engineer Jeff Hansen concerning stormwater requirements for the project;
- Ordinance 2008-07, an ordinance granting a SUP for a school and a variation from the maximum gross floor area regulations; and
- Comprehensive Plan land use objectives for the subject area.

If you should have any questions concerning the information provided in this memorandum please feel free to contact me at 847-283-6889.

JOINT PLAN COMMISSION & ZONING BOARD OF APPEALS REGULAR MEETING

INFORMATIONAL UPDATES

Wednesday, November 18, 2015

7:00 P.M.

- **Agenda Item #4: Middle School Zoning Petition**
 - Comments from Member Goldsberry;
 - Updated plan sets; and
 - Updated Maximum Floor Area Calculation:

MAXIMUM FLOOR AREA COVERAGE (in sq. ft.)

Total Floor Area Variation: 68,160.20 sq. ft. or 211%

Allowed	Existing	Proposed	Total
Lot Size: 287,088.00	88,771	11,698	100,469
Floor Area: 32,308.80			

- **Agenda Item #5: Physical Fitness Facility Special Use Permit**
 - Proposed floor plans; and
 - Pictures of the interior space of Focused Results located in Lake Forest.

Brandon Stanick

From: Pony Swanton <pony.7@comcast.net>
Sent: Sunday, October 18, 2015 3:58 PM
To: jsophie@lb65.org; Drew Irvin; Brandon Stanick
Subject: Lake Bluff Middle School

Hello - I noticed in this weeks Village News Letter that the Architectural Board of Review and The Joint Plan Commission and Zoning Board of Appeals is meeting this week with discussion of the proposed changes to the Lake Bluff Middle School. I have some suggestions that are important to the neighbors of the Middle School. The school is in a neighborhood and those neighbors should be respected at all times especially with the many contractors that will be invading their neighborhood. My suggestions are for Vincent Court that there be no construction traffic of any kind, and no parking of contractors vehicles at anytime, this road is narrow, not built for heavy traffic and many of the neighbors and those servicing those residents need to park on the street. Sheridan Place should also not be used for construction traffic or contractor parking. All construction traffic should be in and out at Sheridan Road and all contractor parking should be on site. These stipulations should be presented in writing to the contractors and enforced.

In addition, the green space west of Vincent Court which I was advised by Dr. Sophie was to be graded as part of the construction (I don't feel this is necessary as the school is using it for recreation as well are all ages of the community with no problem) however if it is to be graded careful attention needs to be given to dust during the grading and planting. Vincent Court lived in a dust storm during the removal of the East School and we do not want to go through this again, including having our windows closed all summer. Again the contractor needs to be advised of this and water the area during grading and seeding(?) as well enforcement by the Village.

Lastly, communications should be a big part of this project and I suggest a email to all neighbors once a week with an update and heads up to what will be going on the next week.

Thank you for your consideration of these suggestions. I look forward to hearing your comments.

Frank Swanton

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 17

Subject: AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO LAKE EFFECT HOLDINGS, LLC TO OPERATE A PHYSICAL FITNESS FACILITY AT 14 E. SCRANTON AVENUE

Action Requested: FIRST READING APPROVAL (Roll Call Vote)
CONSIDER REQUEST TO WAIVE SECOND READING (Roll Call Vote)

Originated By: LAKE EFFECT HOLDINGS, LLC (Petitioner)

Referred To: JOINT PLAN COMMISSION AND ZONING BOARD OF APPEALS

Summary of Background and Reason For Request:

On October 23, 2015 the Village received a zoning application from Lake Effect Holdings, LLC (Petitioner) seeking a special use permit to operate a physical fitness facility at 14 E. Scranton Ave. located in the Central Business District. At its meeting on November 18th the Plan Commission and Zoning Board of Appeals (PCZBA) conducted a public hearing and recommended the Village Board grant the SUP to operate a physical fitness facility (by Focused Results Personal Training) with the following conditions:

- 1) The facility may be open for business Monday through Friday, from 5:30 a.m. to 9:00 p.m., and on Saturday and Sunday, from 6:30 a.m. to 2:00 p.m.; and
- 2) The facility shall solely operate for the purpose of conducting individual personal training sessions for no more than two clients at one time.

The Petitioner has submitted a request to waive second reading of the ordinance and will be in attendance, as well as Village Staff, to answer questions from the Board.

Reports and Documents Attached:

1. Ordinance Granting a Special Use Permit to Operate a Physical Fitness Facility at 14 E. Scranton Ave.;
2. PCZBA Staff Report (with attachments) Dated October November 13, 2015; and
3. A Letter Dated November 19, 2015 Requesting the Village Board Waive Second Reading.

PCZBA's Recommendation: Approval of the ordinance.

Village Administrator's Recommendation: Consider first reading approval; and
Consider waiving second reading approval.

Date Referred to Village Board: 11/23/2015

ORDINANCE NO. 2015-__

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT
TO LAKE EFFECT HOLDINGS LLC TO OPERATE A PHYSICAL FITNESS FACILITY
AT 14 EAST SCRANTON AVENUE**

Passed by the Board of Trustees, _____, 2015

Printed and Published, _____, 2015

Printed and Published in Pamphlet Form
by Authority of the
President and Board of Trustees

VILLAGE OF LAKE BLUFF
LAKE COUNTY, ILLINOIS

I hereby certify that this document
was properly published on the date
stated above.

Village Clerk

ORDINANCE NO. 2015-__

AN ORDINANCE GRANTING A SPECIAL USE PERMIT
TO LAKE EFFECT HOLDINGS LLC TO OPERATE A PHYSICAL FITNESS FACILITY
AT 14 EAST SCRANTON AVENUE

WHEREAS, Lake Effect Holdings, LLC ("**Applicant**") has applied for a special use permit pursuant to Section 10-4A-2A(2) of the Lake Bluff Zoning Regulations to allow for the operation of a physical fitness facility ("**Facility**") owned by the Applicant and located at 14 East Scranton, Lake Bluff, Illinois, ("**Premises**") within the property known as the Village Commons and also known as CBD Block One, which property is legally described on **Exhibit A** attached to this Ordinance ("**Subject Property**"); and

WHEREAS, the Subject Property was developed pursuant to Ordinance Number 2007-14, in which the Village approved a final plat of subdivision and related relief for the Subject Property ("**Final Plat Approval Ordinance**") and the March 31, 2007 development agreement by, between, and among the Village, the Applicant, and John Griffith, Inc. d/b/a Griffith, Grant & Lackie Realtors ("**Development Agreement**"); and

WHEREAS, the Premises was previously subject to a special use permit granted to LuLu's Frozen Delights, Inc. for the operation of an eating place pursuant to Ordinance No. 2012-31, but that special use permit has been abandoned by LuLu's Frozen Delights, Inc. and is of no further force or effect; and

WHEREAS, following a public hearing, the Lake Bluff Joint Plan Commission and Zoning Board of Appeals ("**PCZBA**") recommended that the Village Board grant a special use permit for operation of the Facility in the Premises ("**Special Use Permit**"); and

WHEREAS, the President and Board of Trustees have determined that it would be in the best interest of the Village to grant the requested special use permit in accordance with, and subject to, the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS, as follows:

Section 1. Recitals.

The foregoing recitals are incorporated into this Ordinance as findings of the President and Board of Trustees.

Section 2. Public Hearing.

A public hearing to consider the Applicant's request for the Special Use Permit was duly advertised on October 31, 2015 in *The News-Sun*, and was held by the PCZBA on November 18, 2015, on which date the PCZBA recommended that the Village Board grant the Special Use Permit subject to the conditions set forth in this Ordinance.

Section 3. Special Use Permit; Revocation of Ordinance 2012-31.

A. Special Use Permit. Subject to and contingent upon the conditions, restrictions, and provisions set forth in Section 6 of this Ordinance, a special use permit is hereby granted, pursuant to Section 10-4A-2A(2) of the Lake Bluff Zoning Regulations, to allow the operation of the Facility in the Premises on the Subject Property.

B. Revocation of Ordinance 2012-31. Ordinance 2012-31 is hereby revoked and shall be of no further force or effect.

Section 4. Conditions.

The special use permit granted in Section 3 of this Ordinance is expressly subject to and contingent on each of the following conditions, restrictions, and provisions:

A. Compliance with Application. The Facility must be operated in substantial accordance with the Applicant's application for a special use permit and accompanying documents, attached to this Ordinance as ***Exhibit B ("Application")***.

B. Compliance with Applicable Law. In addition to the other specific requirements of this Ordinance, the Facility, and all of the operations and activities on and in the Premises and the Subject Property shall comply at all times with all applicable federal, state, and Village statutes, ordinances, resolutions, rules, codes, and regulations, including without limitation the Final Plat Approval Ordinance and the Development Agreement. In the event of any conflict between this Ordinance and the Final Plat Approval Ordinance or the Development Agreement, the Final Plat Approval Ordinance or the Development Agreement, as applicable, will control.

C. Personal Training Services; No Group Classes. The Facility shall be operated solely for the purpose of conducting individual personal training sessions for no more than two clients at one time using the nature and type of equipment generally described in the Application. The Premises shall not be used for any other physical fitness services, including without limitation group classes.

D. Hours of Operation. The Facility may be open for business during the following hours: Monday through Friday: 5:30 a.m. to 9:00 p.m., Saturday and Sunday: 6:30 a.m. to 2:00 p.m., unless otherwise approved by the Village Board of Trustees by resolution duly adopted.

E. Final Plat Approval Ordinance Provisions Apply. The Facility and Premises are subject to, and must comply with, the specific requirements provided in the Final Plat Approval Ordinance for the Subject Property, including without limitation, those requirements concerning refuse removal, snow removal, screening of refuse containers, delivery parking and loading, location of required parking spaces, customer parking, public use of parking spaces after business hours, tenant and employee parking, and compliance with a parking plan approved by the Village Administrator.

Section 5. Failure to Comply with Conditions.

Upon failure or refusal of the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, the approval granted in Section 3 of this Ordinance

will, at the sole discretion of the Village Board of Trustees, by ordinance duly adopted, be revoked and become null and void.

Section 6. Binding Effect; Non-Transferability.

The privileges, obligations, and provisions of each and every section and provision of this Ordinance are for the sole benefit of and bind the Applicant, unless otherwise explicitly set forth in this Ordinance. Nothing in this Ordinance will be deemed to allow this Ordinance to be transferred to any person or entity other than the Applicant without a new application for approval.

Section 7. Effective Date.

A. This Ordinance will be effective only upon the occurrence of all of the following events:

1. Passage by the Board of Trustees of the Village of Lake Bluff in the manner required by law;
2. Publication in pamphlet form in the manner required by law; and
3. The filing by the Applicant with the Village Clerk, for recording in the Office of the Lake County Recorder of Deeds, of an unconditional agreement and consent to accept and abide by all of the terms, conditions, and limitations set forth in this Ordinance. The unconditional agreement and consent must be executed by the Applicant. The unconditional agreement and consent must be substantially in the form attached to this Ordinance as ***Exhibit C***.

B. In the event that the Applicant does not file with the Village Clerk the unconditional agreement and consent required by Paragraph 7.A.3 of this Ordinance within 60 days after the date of final passage of this Ordinance, the Village Board of Trustees will have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

PASSED this ____ day of _____, 2015, by vote of the Board of Trustees of the Village of Lake Bluff, as follows:

AYES: ()

NAYS: ()

ABSTAIN: ()

ABSENT: ()

APPROVED this ____ day of _____, 2015.

Village President

ATTEST:

Village Clerk

FIRST READING:

SECOND READING:

PASSED:

APPROVED:

PUBLISHED IN PAMPHLET FORM:

EXHIBIT A

Legal Description of the Subject Property

LOT 1 OF VILLAGE COMMONS, BEING A RE-SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 44 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 26, 2007 AS DOCUMENT NUMBER 6246797 IN LAKE COUNTY, ILLINOIS.

Commonly known as 14 East Scranton Avenue, Lake Bluff, Illinois.

EXHIBIT B

Zoning Application

EXHIBIT C

Unconditional Agreement and Consent

Applicant's Unconditional Agreement and Consent

TO: The Village of Lake Bluff, Illinois ("**Village**");

WHEREAS, Lake Effect Holdings, LLC ("**Applicant**") has applied for a special use permit pursuant to Section 10-4A-2A(2) of the Lake Bluff Zoning Regulations to allow for the operation of a physical fitness facility ("**Facility**") owned by the Applicant and located at 14 East Scranton, Lake Bluff, Illinois, ("**Premises**") within the property known as the Village Commons and also known as CBD Block One, which property is legally described on **Exhibit A** attached to this Ordinance ("**Subject Property**"); and

WHEREAS, the Subject Property was developed pursuant to Ordinance Number 2007-14, in which the Village approved a final plat of subdivision and related relief for the Subject Property ("**Final Plat Approval Ordinance**") and the March 31, 2007 development agreement by, between, and among the Village, the Applicant, and John Griffith, Inc. d/b/a Griffith, Grant & Lackie Realtors ("**Development Agreement**"); and

WHEREAS, the Premises was previously subject to a special use permit granted to LuLu's Frozen Delights, Inc. for the operation of an eating place pursuant to Ordinance No. 2012-31, but that special use permit has been abandoned by LuLu's Frozen Delights, Inc. and is of no further force or effect; and

WHEREAS, following a public hearing, the Lake Bluff Joint Plan Commission and Zoning Board of Appeals ("**PCZBA**") recommended that the Village Board grant a special use permit for operation of the Facility in the Premises ("**Special Use Permit**"); and

WHEREAS, Ordinance No. 2015-___, adopted by the President and Board of Trustees of the Village of Lake Bluff on _____, 2015, ("**Ordinance**") grants the requested Special Use Permit for the Subject Property, subject to certain modifications, conditions, restrictions, and provisions; and

WHEREAS, Subsection 7.B of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Applicant files with the Village Clerk, within 60 days following the passage of the Ordinance, its unconditional agreement and consent to accept and abide by each of the terms, conditions and limitations of the Ordinance;

NOW, THEREFORE, the Applicant agrees and covenants as follows:

1. The Applicant hereby unconditionally agrees to accept, consent to, and abide by all of the terms, conditions, restrictions, and provisions of the Ordinance.
2. The Applicant acknowledges that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, has considered the possibility of the revocation provided for in the Ordinance, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.

3. The Applicant acknowledges and agrees that the Village is not, and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's issuance of any permits for the use of the Subject Property, including, without limitation, the Special Use Permit granted in the Ordinance, and that the Village's issuance of any such permits does not, and will not, in any way, be deemed to insure the Applicant against damage or injury of any kind and at any time.

4. The Applicant agrees to and does hereby hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the operation and use of the Subject Property or the Village's adoption of the Ordinance granting the Special Use Permit set forth in the Ordinance.

Dated: _____, 2015.

ATTEST:

LAKE EFFECT HOLDINGS, LLC

By: _____

By: _____

Its: _____

VILLAGE OF LAKE BLUFF

Memorandum

TO: Chair Kraus and Members of the Joint Plan Commission & Zoning Board of Appeals

FROM: Brandon J. Stanick, Assistant to the Village Administrator

DATE: November 13, 2015

SUBJECT: **Agenda Item #5** - Special Use Permit to Operate a Physical Fitness Facility at 14 E. Scranton Avenue

Applicant Information:	Lake Effect Holdings, LLC (Petitioner & Property Owner)
Location:	14 E. Scranton Avenue
Existing Zoning:	Central Business District (CBD)
Purpose:	Operate a physical fitness facility at 14 E. Scranton Avenue.
Requested Action:	A recommendation to the Village Board to approve, approve with conditions or deny the request for a Special Use Permit (SUP) to operate a physical fitness facility at 14 E. Scranton Ave.
Public Notice:	<i>Lake County News Sun</i> – October 31, 2015
Tenant Space:	1,200 sq. ft.
Existing Land Use:	Commercial
Surrounding Land Use:	<ul style="list-style-type: none"> • North: Parking lot & multi-family residential • East: Commercial • South: Village Green park • West: Train Station
Comprehensive Plan Land Use Objectives:	<ul style="list-style-type: none"> • Promote orderly redevelopment of the CBD.
Zoning History:	<ul style="list-style-type: none"> • Village Commons development relevant zoning relief (2007): <ul style="list-style-type: none"> ○ Allows multiple principle structures on 1 lot, ○ 56% variation from required parking spaces (28 of 40 spaces are onsite / 10 of the 28 are designated customer parking), ○ 20% variation from required parking lot buffer width of 5 ft. (4 ft. buffer provided); • Ordinance granting SUP for a restaurant w/out a drive thru at 18-20 E. Scranton Ave. (Ord. 2014-06); and • Ordinance granting SUP to operate a brewery/brew pub (Ord. 2015-16).
Applicable Land Use Regulations:	SUP is required to operate physical fitness facilities in the CBD.

Background and Summary

On October 23, 2015 the Village received a zoning petition from Lake Effect Holdings, LLC (Petitioner), owner of the Village Commons building, seeking a SUP to operate a physical fitness facility at 14 E. Scranton Avenue (formerly LuLu's Frozen Delights) located in the Village's Central Business District. If approved, the Petitioner will hold the SUP, and therefore, have the authority to establish a physical fitness facility consistent with any conditions identified in the SUP and will not require a public hearing with the PCZBA for any future physical fitness facility tenants.

Zoning Analysis

The Village Commons development was approved pursuant to Ordinance #2007-14. The approval ordinance establishes regulations for operations and activity, including: refuse and snow removal, delivery truck parking, customer and on-site traffic circulation and customer and employee parking.

According to the Petitioner, the proposed tenant for the space is Focused Results Personal Training, a one-on-one personal training service; training is not provided for large groups. Because of the one-on-one training sessions there is not a large selection of equipment available and primarily includes free weights and resistance cables.

The following is a summary of the proposed hours of operation:

Hours of Operation:
Monday through Friday: 5:30 am to 9:00 pm
Saturday and Sunday: 6:30 am to 2:00 pm

No traffic demands or safety hazards are foreseen with this type of use.

There will be minimum impact to public utilities as adequate water and sewer services are currently available.

Sanitation service will be provided by the Petitioner's contractor and is currently provided at the rear of the building several times per week.

Village Staff does not anticipate any irregular impacts to police and/or fire services.

PCZBA Authority

The PCZBA has the authority to:

- Recommend the Village Board approve, approve with conditions or deny the request for a SUP.

Recommendation

Following the public hearing to consider the requested SUP, the PCZBA should take one of the following actions:

- If more information is required, continue the public hearing to a date certain to allow the Petitioner to provide additional information; or
- If more information is not required, vote to:
 - Approve, approve with conditions, or deny the Petitioner's request.

Attachments

- Petitioner's zoning application and related material (a floor plan of the tenant's space will be provided prior to the meeting).

If you should have any questions concerning the information provided in this memorandum please feel free to contact me at 847-283-6889.

lake effect

H O L D I N G S , L L C

RECEIVED
OCT 28 2015

BY:

October 22, 2015

Mr. Steve Kraus
Planning Commission & Zoning Board of Appeals
40 E. Center Avenue
Lake Bluff, Illinois 60044

Re: 14 E. Scranton Avenue - Special Use Permit Consideration

Dear Chairman Kraus,

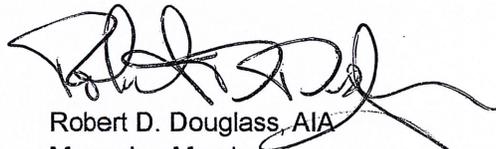
The proposed business to be located at 14 E. Scranton Avenue is Focused Results Personal Training. The nature of their business is personal one-on-one training with their customers. They do not provide training for large groups. The equipment used is primarily free weights and resistance cables. The business does not have a large array of equipment like a conventional fitness and/or health facility.

As per the Lake Bluff Zoning Ordinance 10-4A-2 Special Uses, the proposed business has been categorized by staff as a "Physical Fitness Facility" SIC Code 7991. The intent of SIC Code 7991 is to address physical fitness facilities such as the Park District's Fitness Center and/or health clubs. This category in the Zoning Ordinance is far too broad. It is an inappropriate categorization to apply to a business which provides personal one-on-one training.

Lake Effect Holdings respectfully requests the PCZBA to reconsider placing Focused Results into SIC Code 7991 and thereby not subjecting this business to a Special Use Permit. The reason being, a personal one-on-one training business and a physical fitness facility and/or health club do not belong in the same category.

Thank you for your consideration.

Cordially,
LAKE EFFECT HOLDINGS, LLC



Robert D. Douglass, AIA
Managing Member

cc: Zak Rivera

FEE PAID: _____
RECEIPT NUMBER: _____

DATE RECEIVED _____
BY VILLAGE: _____

VILLAGE OF LAKE BLUFF
APPLICATION FOR ZONING VARIATION, SPECIAL USE PERMIT, REZONING, OR PRD

SUBJECT PROPERTY

Address: 14 E. Scranton Avenue Lake Bluff, IL Zoning District: CBD
(Property address for which application is submitted)

Current Use: Vacant Retail
(Residential, Commercial, Industrial, Vacant, Etc.)

PIN Number: 12-21-109-028

APPLICANT

Applicant: Lake Effect Holdings, LLC

Address: 14 E. Scranton Avenue Lake Bluff, IL
(Address if different than subject property)

Relationship of Applicant to Property: Managing Member
(Owner, Contract Purchaser, Etc.)

Home Telephone: _____ Business Telephone: 847/234-4688

OWNER

Owner - Title Holder	If Joint Ownership
Name: <u>Lake Effect Holdings, LLC</u>	Joint Owner: _____
Address: <u>P.O. Box 155</u>	Address: _____
<u>Lake Bluff, IL 60044</u>	_____
Daytime Phone: <u>847/234-4688</u>	Daytime Phone: _____

If ownership is other than individual and/or joint ownership, please check appropriate category and provide all additional ownership information as an attachment.

- Corporation
- Land Trust
- Other: _____
- Partnership
- Trust

Are all real estate taxes, special assessments and other obligations on the subject property paid in full?

Yes No If No, Explain: _____

ACTION REQUESTED

To provide time for legal notification requirements, any application requiring a Public Hearing before the Zoning Board of Appeals must be received at least 25 days prior to the next meeting date.

- Zoning Variation
- Special Use Permit
- Text Amendment
- Rezoning
- Planned Residential Development
- Other: _____ Special Use Permit

Applicable Section(s) of Zoning Ordinance, if known: _____ CBD

Narrative description of request:

The new business to occupy 14 E. Scranton Avenue is Focused Results Performance Training. If required the owner of the building, Lake Effect Holdings, LLC, is requesting to hold the Special Use Permit. Hours of operation is Monday - Friday 5:30am to 9:00pm, Saturday & Sunday 6:30am to 2:00pm

STANDARDS FOR VARIATIONS AND SPECIAL USE PERMITS

The Zoning Board is required by the Illinois State Statutes to apply the following standards in reviewing requests for Variations and Special Use Permits. The Board may only grant a variation or recommend that the Village Board grant a variation in cases where there are practical difficulties and particular hardships brought about by the strict application of the Zoning Ordinance and not by any persons, presently or formerly, having an interest in the property. **The applicant has the burden of establishing each of these standards both in writing and at the Public Hearing.** Please attach additional materials if necessary.

STANDARDS FOR VARIATIONS:

1. **Practical Difficulty or Hardship:** Describe the practical difficulty or particular hardship that would result from the strict application of the Zoning Ordinance.

2. **Unique Physical Condition:** Describe the unique characteristics of the lot or structures on the subject property which are exceptional, such as: a) existing unique structures or uses, b) irregular lot shape, size, or location, c) exceptional topographical features, or d) other extraordinary physical conditions.

3. Special Privilege: Describe how the request will not simply provide the applicant with a special privilege that other property owners do not enjoy. The request must be for relief from the regulations due to hardship, and not simply to reduce inconvenience or to provide for financial gain.

4. Code Purposes: Describe how the request does not violate the intentions of the regulations. The applicant must show that the request does not adversely impact surrounding properties or the general welfare.

5. Public Health and Safety: Describe how the request will not: a) adversely impact the supply of light and air to adjacent properties, b) increase traffic congestion, c) increase the hazard of fire, d) endanger public safety, e) diminish the value of property within the surrounding area, or f) impair the public health, safety, comfort, morals, and welfare of the people.

STANDARDS FOR SPECIAL USE PERMITS:

1. General Standard: Describe how the proposed use will not adversely impact adjacent properties.

There are no adverse impact to the adjacent properties. The business is consistent with the other businesses with the Block One development
Monday - Friday 5:30am to 9:00pm. Saturday & Sunday 6:30am to 2:00pm

2. No Interference with Surrounding Development: Describe how the proposed use will not hinder or interfere with the development or use of surrounding properties.

The proposed business will not adversely impact adjacent businesses but rather enhance the CBD by bringing more customers to the existing businesses of the CBD. There will be minimum deliveries and if they will be serviced from the rear of the building

3. Adequate Public Facilities: Describe how the proposed use will be served by streets, public utilities, police and fire service, drainage, refuse disposal, parks, libraries and other public services.

The existing building is already served by existing streets, public utilities, police & fire service, etc. Nothing will be changing with the tenant occupant of the retail space.

4. **No Traffic Congestion:** Describe how the proposed use will not cause undue traffic and traffic congestion.

Due to the nature of the business with one-on-one training, there will be minimum impact on the existing parking, traffic congestion will remain consistent and parking demands will not be impacted.

5. **No Destruction of Significant Features:** Describe how the proposed use will not destroy or damage natural, scenic or historic features.

The Village Commons is an existing building and the operations of this type of business does not necessitate a change to the existing building and will not destroy or damage natural, scenic or historic feaures.

STANDARDS FOR TEXT AMENDMENTS

The wisdom of amending the Village Zoning Map or the text of the Zoning Code is a matter committed to the sound legislative discretion of the Village Board of Trustees and is not dictated by any set standard. In determining whether a proposed amendment will be granted or denied the Board of Trustees may be guided by the principle that its power to amend this title should be exercised in the public good.

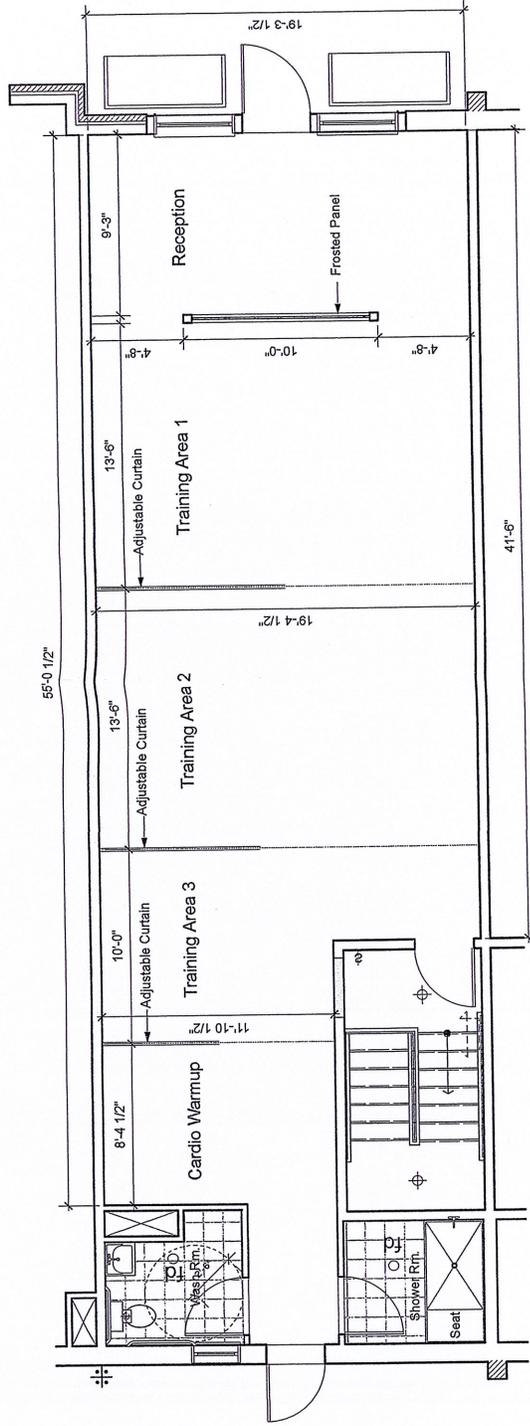
TEXT AMENDMENT GUIDING PRINCIPLES:

In considering whether the principle is satisfied in amending the text of the Zoning Code, the Board of trustees may weigh, among other factors, the following:

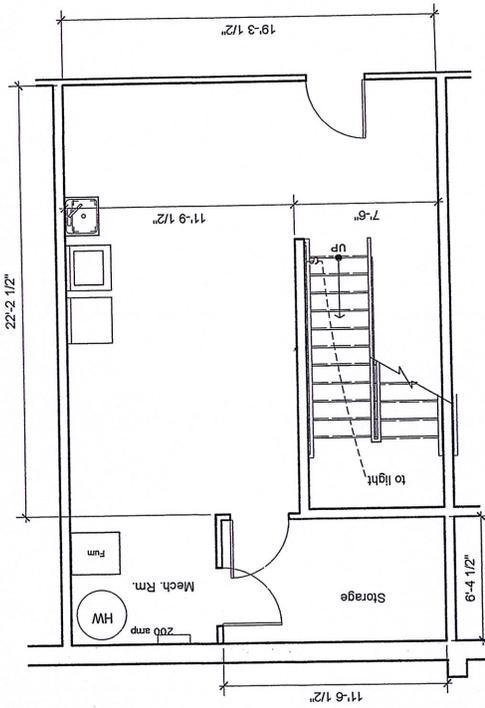
1. **The consistency of the proposed amendment with the purposes of this title:**

2. **The community need for the proposed amendment and any uses or development it would allow:**

3. **The conformity of the proposed amendment with the village's comprehensive plan and zoning map, or the reasons justifying its lack of conformity:**



A Partial First Floor Plan
Scale: 1/4" = 1'-0"



A Partial Basement Floor Plan
Scale: 1/4" = 1'-0"

1. Issued for Review	10/28/15
2. Issued for Review	11/16/15

General Notes

Floor plans

A-1

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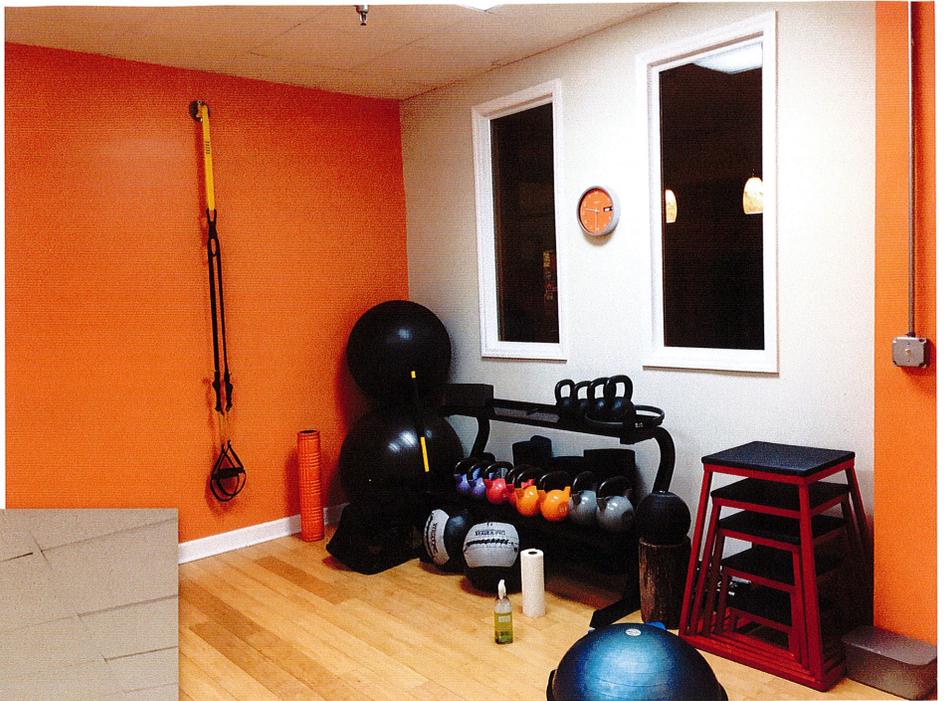
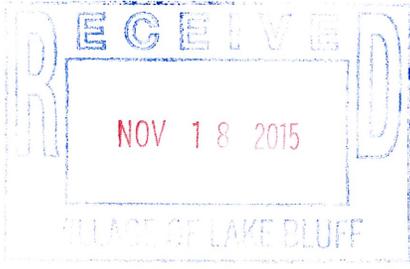
ARCHITECTS, INC.

P.O. Box 133, Lake Bluff, IL 60044 T. 847.234.4688 E. rob@lakeeffect.com

The Village Commons Building

14 E. Scranton Avenue, Lake Bluff, Illinois 60044

November 18, 2015



Interiors of the current space Focused Results is located in Lake Forest.



lake effect

H O L D I N G S , L L C

Attachment 3

RECEIVED
NOV 19 2015

BY:

November 19, 2015

Mr. Kathy O'Hara, Village Board President

Village Trustees of Lake Bluff

40 East Center Avenue

Lake Bluff, Illinois 60044

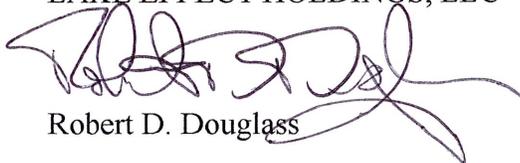
Re: Lake Effect Holding, LLC Special Use Permit - 14 E. Scranton Avenue

Dear President O'Hara:

As the Managing Member of Lake Effect Holdings, LLC I am requesting the Village Board of Trustees to waive the second reading for the Special Use Permit for the above property. We have a signed Lease with a new tenant for the space and we would like to begin preparation of the space for them as soon as possible. Thank you for your consideration.

Cordially,

LAKE EFFECT HOLDINGS, LLC



Robert D. Douglass

Managing Member

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 18

Subject: AN ORDINANCE AMENDING CERTAIN PROVISIONS OF TITLE III OF THE LAKE BLUFF MUNICIPAL CODE REGARDING LIQUOR CONTROL (Number of Licenses)

Action Requested: FIRST READING APPROVAL (Roll Call Vote)
CONSIDER REQUEST TO WAIVE SECOND READING (Roll Call Vote)

Originated By: INOVASI RESTAURANTS, LLC

Referred To: VILLAGE BOARD

Summary of Background and Reason For Request:

The Village is in receipt of liquor license applications from John des Rosiers (Applicant) requesting a Class W License for Wisma Concepts, LLC (currently holds Class A and Z Licenses) and Inovasi Restaurants, LLC (currently holds Class V and X Licenses). A Class W License will allow Wisma and Inovasi to sale alcohol at retail (between 11:00 a.m. to 12:00 a.m.) as an incidental part of the catering of food for private events not held at either restaurant locations. Currently the liquor regulations allow for zero Class W Licenses. Therefore, it is recommended Section 3-2-10 of the Municipal Code be amended to increase the number of licenses for Class W from zero to two.

In addition, the attached ordinance amends the Liquor Code to correct a scrivener's error by adding one Class Y License for a brewery/brew pub.

It is anticipated the Applicant will submit a request to waive second reading of the ordinance before the Village Board meeting. The Applicant and Village Staff will be available to answer questions from the Board.

Reports and Documents Attached:

1. Ordinance Amending the Village's Liquor Code; and
2. A Request to Waive Second Reading.

Liquor Commissioner's Recommendation: Consider approval of the ordinance.

Village Administrator's Recommendation: Consider approval of the ordinance; and
Consider waiving second reading.

Date Referred to Village Board: 11/23/2015

ORDINANCE NO. 2015-__

**AN ORDINANCE AMENDING
TITLE 3 OF THE VILLAGE OF LAKE BLUFF MUNICIPAL CODE
CONCERNING THE NUMBER OF LIQUOR LICENSES**

Passed by the Board of Trustees, _____, 2015

Printed and Published, _____, 2015

Printed and Published in Pamphlet Form
by Authority of the
President and Board of Trustees

VILLAGE OF LAKE BLUFF
LAKE COUNTY, ILLINOIS

I hereby certify that this document
was properly published on the date
stated above.

Village Clerk

ORDINANCE NO. 2015-__

**AN ORDINANCE AMENDING
TITLE 3 OF THE VILLAGE OF LAKE BLUFF MUNICIPAL CODE
CONCERNING THE NUMBER OF LIQUOR LICENSES**

WHEREAS, pursuant to the Illinois Liquor Control Act, 235 ILCS 5/1-1 *et seq.*, the Village of Lake Bluff has the authority to license and regulate the retail sale of alcoholic beverages in the Village; and,

WHEREAS, the Village of Lake Bluff desires to increase the number of Class W licenses in response to recently received applications for such license; and,

WHEREAS, the Village further desires to correct a codification error in the Village's Municipal Code by correctly listing a previously-granted Class Y license in the Municipal Code; and,

WHEREAS, the President and the Board of Trustees of the Village have found and determined that the adoption of the amendments set forth in this Ordinance are in the best interest of the Village and its residents.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF LAKE BLUFF, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

Section 1. Recitals.

The foregoing recitals are incorporated into and made a part of this Ordinance by this reference as if fully set forth.

Section 2. Amendment to Number of Licenses.

Section 3-2-10, entitled "Number of Licenses" of Chapter 2, entitled "Liquor Control," of Title 3, entitled "Business and License Regulations," of the Lake Bluff Municipal Code, shall be and it is hereby amended to increase the number of Class W licenses and correctly reflect the currently-approved number of Class Y licenses as follows:

"3-2-10: Number of Licenses: The maximum number of alcoholic beverage licenses by classification thereof available at any time for issuance shall be as follows:

<u>Class</u>	<u>Number</u>
***	***
W	0 <u>2</u>
***	***
Y	0 <u>1</u> "

Section 4. Effective Date.

This Ordinance shall be effective following passage by the Board of Trustees of the Village of Lake Bluff in the manner required by law and publication in pamphlet form in the manner required by law.

PASSED this __ day of _____, 2015, by vote of the Board of Trustees of the Village of Lake Bluff, as follows:

AYES: ()

NAYS: ()

ABSTAIN: ()

ABSENT: ()

APPROVED this __ day of _____, 2015.

Village President

ATTEST:

Village Clerk

FIRST READING:

SECOND READING:

PASSED:

APPROVED:

PUBLISHED IN PAMPHLET FORM:

Brandon Stanick

From: laura@inovasi.us
Sent: Friday, November 20, 2015 9:43 AM
To: Brandon Stanick
Subject: Class W Liquor Licenses for Wisma and Inovasi

Village President O'Hara and Board of Trustees,

The purpose of this email is to respectfully request you waive second reading of the ordinance regarding additional Class W liquor licenses. The waiver is being requested because we have catering events scheduled about a week after your November 23rd meeting date.

Thank you,

Laura Martin
Business Manager
Inovasi, Wisma and The Otherdoor