

**VILLAGE OF LAKE BLUFF
BOARD OF TRUSTEES
REGULAR MEETING**

Monday, July 27, 2015
7:00 P.M.
40 East Center Avenue
Village Hall Board Room

A G E N D A

1. CALL TO ORDER AND ROLL CALL
2. PLEDGE OF ALLEGIANCE
3. CONSIDERATION OF THE MINUTES OF THE JULY 13, 2015 VILLAGE BOARD MEETING
4. NON-AGENDA ITEMS AND VISITORS

The Village President and Board of Trustees allocate fifteen (15) minutes during this item for those individuals who would like the opportunity to address the Village Board of Trustees on any matter not listed on the agenda. Each person addressing the Village Board of Trustees is asked to limit their comments to a maximum of five (5) minutes.

5. VILLAGE BOARD SETS THE ORDER OF THE MEETING

The Village President and Board of Trustees will entertain requests from anyone present on the order of business to be conducted during the Village Board Meeting.

6. VILLAGE FINANCE REPORT

a) Warrant Report for July 16-31, 2015

7. VILLAGE ADMINISTRATOR'S REPORT

a) Informational Report from the Assistant to the Village Administrator Brandon Stanick Regarding Departmental Activities

8. VILLAGE ATTORNEY'S REPORT

9. VILLAGE PRESIDENT'S REPORT

10. ACCEPTANCE OF THE CORRESPONDENCE

Please note all correspondence was delivered to the Village Board of Trustees in the Informational Reports on July 10 and 17, 2015.

11. A RESOLUTION APPROVING A SIGN EXEMPTION REQUEST FOR (Target/Starbucks located at 975 Rockland Road)

12. A RESOLUTION APPROVING A SITE PLAN REVIEW FOR SUNRISE PARK
13. A RESOLUTION APPROVING AN AMENDMENT TO AN EXISTING SITE PLAN FOR (Inovasi Restaurant located at 28 East Center Avenue)
14. AN ORDINANCE AMENDING TITLE III OF THE LAKE BLUFF MUNICIPAL CODE CONCERNING THE NUMBER OF LIQUOR LICENSES FOR (Chipotle Mexican Grill, Inc located at 945 Rockland Road)
15. SECOND READING OF AN ORDINANCE GRANTING A VARIATION FROM THE VILLAGE'S REAR YARD SETBACK REGULATIONS TO PERMIT THE CONSTRUCTION OF AN ARBOR IN THE REQUIRED REAR YARD OF THE PROPERTY LOCATED 404 MOFFETT ROAD
16. TRUSTEE'S REPORT
17. EXECUTIVE SESSION
18. ADJOURNMENT

*R. Drew Irvin
Village Administrator*

The Village of Lake Bluff is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding accessibility of the meeting or the facilities, are requested to contact R. Drew Irvin, Village Administrator, at 234-0774 or TDD number 234-2153 promptly to allow the Village of Lake Bluff to make reasonable accommodations.

**VILLAGE OF LAKE BLUFF
BOARD OF TRUSTEES
REGULAR MEETING
JULY 13, 2015**

DRAFT MINUTES

1. CALL TO ORDER AND ROLL CALL

In the absence of Village President O'Hara and Village Clerk Towle, Deputy Village Clerk Drew Irvin called the meeting to order at 7:01 p.m., in the Lake Bluff Village Hall Board Room, and called the roll.

The following were present:

Trustees: Barbara Ankenman
 Steve Christensen
 Mark Dewart
 Eric Grenier
 John Josephitis
 William Meyer

Absent: Kathleen O'Hara, Village President
 Aaron Towle, Village Clerk

Also Present: Drew Irvin, Village Administrator
 Peter Friedman, Village Attorney
 Susan Griffin, Finance Director
 Jeff Hansen, Village Engineer
 Michael Croak, Building Codes Supervisor
 David Belmonte, Police Chief
 Jake Terlap, Public Works Superintendent
 Brandon Stanick, Assistant to the Village Administrator (A to VA)

Trustee Meyer moved to nominate Trustee Christensen as President Pro Tem for the meeting. Trustee Ankenman seconded the motion. The motion passed on a unanimous voice vote.

2. PLEDGE OF ALLEGIANCE

President Pro Tem Christensen led the Pledge of Allegiance.

3. CONSIDERATION OF THE MINUTES

Trustee Dewart moved to approve the June 22, 2015 Board of Trustees Meeting Minutes as presented. Trustee Josephitis seconded the motion. The motion passed on a unanimous voice vote.

4. NON-AGENDA ITEMS AND VISITORS

There were no requests to address the Board.

5. VILLAGE BOARD SETS THE ORDER OF THE MEETING

At the request of those present, Trustee Josephitis moved to take Agenda Items #12 and #13 then return to the regular order of the meeting. Trustee Meyer seconded the motion. The motion passed on a unanimous voice vote.

6. ITEM #12 – AN ORDINANCE GRANTING A VARIATION FROM THE VILLAGE’S REAR YARD SETBACK REGULATIONS TO PERMIT THE CONSTRUCTION OF AN ARBOR IN THE REQUIRED REAR YARD OF THE PROPERTY LOCATED AT 404 MOFFETT ROAD

President Pro Tem Christensen reported on May 22, 2015 the Village received a zoning application from Vincent Flannery and Jodi Barke (Petitioners), property owners of 404 Moffett Road, requesting a zoning variation to allow for the construction of an arbor that would encroach 7 ft. 6 in. into the rear yard setback along Sylvan Road. The arbor is 6 ft. 6 in. in height and 4 ft. 2 in. wide and will be placed at the northeast corner of the house adjacent to the attached garage. The property is considered an irregular through lot and must maintain a rear yard setback that is equal to its 20 ft. required front yard setback for the R-4 Residence District.

President Pro Tem Christensen reported at its meeting on June 17th the Plan Commission and Zoning Board of Appeals (PCZBA) conducted a public hearing and recommended the Village Board approve the requested zoning variation to allow the arbor to encroach 7 ft. 6 in., or a 37.5% variation, into the rear setback along Sylvan Road. Additionally, the Petitioners are requesting approval to allow portions of the existing, as well as the proposed landscaping, to be planted in the Village’s right-of-way.

As there were no comments from the Board, Trustee Dewart moved to approve first reading of the ordinance. Trustee Ankenman seconded the motion. The motion passed on a unanimous voice vote.

7. ITEM #13 – A RESOLUTION APPROVING A LICENSE AGREEMENT BY AND BETWEEN THE VILLAGE OF LAKE BLUFF AND THE OWNERS OF 404 MOFFETT ROAD

President Pro Tem Christensen reported on May 22, 2015 the Village received a zoning application from Vincent Flannery and Jodi Barke (Petitioners), property owners of 404 Moffett Road, requesting a zoning variation to allow for the construction of an arbor that would encroach 7 ft. 6 in. into the rear yard setback along Sylvan Road. He further reported a review of the plans indicated the existence of the Petitioners’ landscape plantings and a split-rail fence within the Village’s right-of-way along Sylvan Rd., East Sheridan Pl. and Moffett Rd., as well as new proposed plantings that are part of the Petitioners’ overall new landscape plan. Additionally, the Village’s sidewalk along Moffett Rd. is located on the Petitioners’ property, and as this is the case,

the attached license agreement includes provisions that have the Petitioners granting the Village a license for those portions of the Moffett Rd. sidewalk located on their property, as well as the Village granting a license to the Petitioners to maintain landscape plantings within the right-of-way. Similarly, the Village has approved other license agreements to authorize the installation of improvements such as landscaping on other Village owned property.

Following a comment from Village Attorney Peter Friedman, A to VA Stanick clarified the resolution approving the right-of-way agreement is not contingent on the Village Board's approval of the requested zoning variation.

Trustee Meyer moved to adopt the resolution. Trustee Josephitis seconded the motion. The motion passed on the following roll call vote:

Ayes: (6) Ankenman, Christensen, Dewart, Grenier, Josephitis and Meyer
Nays: (0)
Absent: (0)

8. ITEM #6A – WARRANT REPORT FOR JULY 1-15, 2015 AND JUNE 2015 PAYROLL EXPENDITURES

President Pro Tem Christensen reported expenditure of Village funds for payment of invoices in the amount of \$772,373.60 for July 1-15, 2015.

President Pro Tem Christensen reported expenditure of Village funds for payroll in the amount of \$259,038.45 for June 2015.

As such, the total expenditures for this period is in the amount of \$1,031,412.05.

As there were no questions from the Board, Trustee Grenier moved to approve the Warrant Report. Trustee Meyer seconded the motion. The motion passed on the following roll call vote:

Ayes: (6) Christensen, Dewart, Grenier, Josephitis, Meyer and Ankenman
Nays: (0)
Absent: (0)

9. ITEM #6B – JUNE 2015 FINANCIAL REPORT

At President Pro Tem Christensen's request, Finance Director Susan Griffin provided a brief summary of the June 2015 Finance Report, highlighting major revenue sources and expenditures for the period.

- Sales taxes for May 2014 through March 2015 (FY15) are \$246,742 (or 12%) over the same period in 2013-14 on the strength of auto sales. Home rule sales tax of \$496,600 is 3.5% greater than last year (April sales tax figures are not available at this time);

- May has traditionally been the largest monthly receipt of state shared income tax revenue due to the filing of taxes in April. At \$145,166 May through June 2015 revenue is 22% greater than May through June 2014;
- Building permit revenue is down 15% from the prior year as expected due to the decline in commercial redevelopment projects;
- Capital project expenditures are minimal as projects begin in June with payouts in July;
- Contracts and commodities have increased this month due to the dispatching contract payment of \$141,000; and
- Water billed consumption is down 1.124 million gallons. This results in a decline in water sales of \$3,905 (after accounting for the change in water rates from \$6.80 to \$6.95 effective May 1st).

As there were no questions from the Board, Trustee Ankenman moved to accept the Finance Report. Trustee Josephitis seconded the motion. The motion passed on a unanimous voice vote.

10. ITEM #7A – VILLAGE ADMINISTRATOR’S REPORT: A REPORT CONCERNING THE CONSIDERATION OF A CENTRAL BUSINESS DISTRICT WAYFINDING SIGN FOR THE TARGET PROPERTY LOCATED AT 975 ROCKLAND ROAD

Village Administrator Irvin stated the updated drawings prepared by Target Corporation landscape architect was placed at the dais and noted that a scale depicting the distance to the shopping areas could be included in the plans. He stated while not noted as a conditional of approval in either the Development Agreement or the Target Planned Commercial Development Ordinance, Target did commit to the Village during the entitlement process that they would install a wayfinding sign (directing visitors to key Lake Bluff destinations including the Central Business District (CBD)) as part of their redevelopment of the former Shepard Chevrolet property.

Village Administrator Irvin provided an update on the actions taken by the ABR and noted the ABR had determined the signage would not achieve the goal of directing visitors to the CBD. In addition, he stated the CBD merchants support the installation of signage directing consumers to the CBD.

Trustee Dewart stated the wayfinding signage received positive feedback at a recent business development focus group. Building Codes Supervisor Michael Croak stated the ABR reviewed the proposed signage from a perspective to minimize signage in the community.

Trustee Meyer asked if the satellite image would be on the sign and expressed his preference for a simpler graphic image similar to signage found along hiking trails.

Trustee Josephitis expressed his concern regarding the proposed location. Village Administrator Irvin stated the proposed signage would be installed along the pedestrian/bicycle path to direct visitors to the various businesses throughout the community.

Trustee Ankenman expressed her preference that the proposed signage be consistent with the current branding initiative. A discussion ensued.

It was the consensus of the Village Board to provide the Village Administrator comments regarding signage for consideration at a future meeting.

Village Administrator Irvin reported there were approximately 20,600 spectators that attended the 4th of July Parade, as well as thanked the Parade Committee for a wonderful parade. He also thanked the Public Works Staff for their cleanup efforts after the event and the Police and Fire Departments for maintaining safety with such a large crowd. In addition, he reported on the upcoming Criterium Bike Race and Block Party scheduled on July 25th.

11. ITEM #8 - VILLAGE ATTORNEY'S REPORT

Village Attorney Peter Friedman had no report.

12. ITEM #9 – VILLAGE PRESIDENT'S REPORT

As President O'Hara was absent there was no report.

13. ITEM #10 – ACCEPTANCE OF THE CORRESPONDENCE

President Pro Tem Christensen introduced the correspondence from the Informational Report on June 19, 26 and July 2, 2015 for consideration by the Board.

Trustee Ankenman moved to accept the correspondence as submitted. Trustee Grenier seconded the motion. The motion passed on a unanimous voice vote.

14. ITEM #11 – A RESOLUTION AUTHORIZING THE EXECUTION OF A CONSTRUCTION CONTRACT WITH PINNER ELECTRIC, INC. OF LAGRANGE, ILLINOIS, FOR THE VILLAGE OF LAKE BLUFF'S FY2016 RECTANGULAR RAPID FLASHING BEACONS PROJECT (Pedestrian Crossing Improvements for the Intersection of Sheridan Road and East Scranton Avenue)

President Pro Tem Christensen reported on July 7, 2015, bids were opened for the Village's FY2016 Sheridan Road at East Scranton Avenue Rectangular Rapid Flashing Beacons Project (Crossing Improvements). Only one bid was received (Pinner Electric, Inc. of LaGrange, Illinois) which was in the amount of \$49,541.00. President Pro Tem Christensen reported the Village's FY2016 Budget includes a total of \$55,000 for the Sheridan Road at East Scranton Avenue crossing improvements. In addition to the bid received from Pinner Electric, Inc. the Village also has an agreement with HLR Inc. to provide construction observations services for the project for the cost of \$3,880.00. The Village also intends to contract with a separate company to move a portion of the split rail fence on the east side of Sheridan Road to the south of East Scranton Avenue. The fence work is intended to provide a better line of site for northbound motorists on Sheridan Road and the estimated cost of the relocation is \$1,000.00. The sum of the bid for the Flashing Beacons, the agreement for construction observation services, and estimated cost of moving a portion of the fence is \$54,421 which is \$579 less than the FY2016 budget amount of \$55,000. He further reported according to the Village's consultant, HLR Engineering, Pinner Electric, Inc. has completed numerous traffic signal projects in the area in the past. The Village

Engineer is recommending that an award be made to Pinner Electric, Inc. in the total low bid amount of \$49,541.00.

Following a comment from Trustee Josephitis regarding the timing of the project, Village Administrator Irvin stated the project was delayed because E. Sheridan Road is under the jurisdiction of the Illinois Department of Transportation and the Village had to wait for permit approval.

Village Engineer Jeff Hansen provided information regarding the proposed project and noted there would be one solar powered and one hard wired rapid rectangular flashing beacon system installed at the intersection of Sheridan Road and East Scranton Avenue. He also noted because the project is small in scale, the Village only received one bid.

Trustee Josephitis moved to adopt the resolution. Trustee Dewart seconded the motion. The motion passed on the following roll call vote:

Ayes: (6) Dewart, Grenier, Josephitis, Meyer, Ankenman and Christensen
Nays: (0)
Absent: (0)

15. ITEM #14 – A RESOLUTION APPROVING A PROFESSIONAL ENGINEERING SERVICES AGREEMENT WITH BAXTER & WOODMAN, INC (Moffett Road Culvert End Section Replacement)

President Pro Tem Christensen reported the concrete headwall and end section of the culvert on the east side of Moffett Road just south of E. Witchwood Lane has separated from the end of the culvert and the slope from Moffett Road down to the ravine has eroded. As you will recall, \$40,000 was included in the FY16 Budget to develop a design to cure this condition. Further investigation has shown that, due to the eroded slope, the project will also need to include the reconstruction of a separate storm sewer that is connected to the failed end section and repairs to Moffett Road. The Village requested a proposal from Baxter & Woodman, Inc. to design and assist the Village with the bidding of a project repairing the damage and stabilizing the slope. Baxter & Woodman, Inc. has exhibited specific expertise in the design of storm water systems and has successfully done projects for the Village in the past.

President Pro Tem Christensen reported the proposal from Baxter & Woodman, Inc. is for a lump sum of \$52,000, exceeding the amount in the FY16 Redevelopment Fund budgeted amount of \$40,000. Finance Director Griffin advised there are adequate monies in the Redevelopment Fund for the full amount of the proposal. It is recommended the Village Board approve an additional \$12,000 from the Redevelopment Fund and approve the proposal from Baxter & Woodman, Inc. for \$52,000.

As there were no questions from the Board, Trustee Ankenman moved to adopt the resolution. Trustee Josephitis seconded the motion. The motion passed on the following roll call vote:

Ayes: (6) Grenier, Josephitis, Meyer, Ankenman, Christensen and Dewart
Nays: (0)
Absent: (0)

16. ITEM #15 – TRUSTEE’S REPORT

There was no Trustee’s report.

17. ITEM #17 – ADJOURNMENT

Trustee Grenier moved to adjourn the regular meeting. Trustee Dewart seconded the motion and the motion passed on a unanimous voice vote. The meeting adjourned at 7:36 p.m.

Respectfully Submitted,

R. Drew Irvin
Village Administrator

R. Drew Irvin
Deputy Village Clerk

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 6a

Subject: WARRANT REPORT FOR JULY 16-31, 2015

Action Requested: APPROVAL OF DISBURSEMENTS (Roll Call Vote)

Originated By: DIRECTOR OF FINANCE

Referred To: VILLAGE BOARD

Summary of Background and Reason For Request:

Expenditure of Village funds for payment of invoices in the amount of \$171,095.77 for July 16-31, 2015.

Total Expenditures of \$171,095.77

Reports and Documents Attached:

1. Warrant Report for July 16-31, 2015 \$171,095.77 (dated 7/27/15)

Note that the warrant report designates those checks issued prior to the Board's formal approval as manual checks "M" on the Warrant Report. These are checks that are prepared in advance of the warrant due to contractual or governmental/payroll tax obligations; to obtain a discount; or for extenuating circumstances that may arise.

Village Administrator's Recommendation:

Approval of Warrant in the total amount of **\$171,095.77**

Date Referred to Village Board: 7/27/2015

DATE: 07/22/15
TIME: 14:57:14
ID: AP441000.WOW

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DETAIL BOARD REPORT

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INVOICES DUE ON/BEFORE 07/27/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

121ELEV 121 ELEVATOR INCORPORATED							
1958	06/01/15	01	ELEVATOR PIT LADDER:VILL HALL	01-60-900-41000		07/27/15	525.00
				MAINTENANCE-BUILDING			
						INVOICE TOTAL:	525.00
						VENDOR TOTAL:	525.00
APS APS INC.							
14663-115890	07/13/15	01	CONCRETE SAW AIR FILTERS	01-80-890-43650		07/27/15	18.93
				MAINTENANCE SUPPLIES-EQUIP			
						INVOICE TOTAL:	18.93
						VENDOR TOTAL:	18.93
A PLUS A PLUS BUILDING SERVICES							
7396	07/14/15	01	PSB CLEANING:AUG 2015	01-70-930-41000		07/27/15	1,360.00
				MAINTENANCE-BUILDING			
		02	VILL HALL CLEANING:AUG 2015	01-60-900-41000			490.00
				MAINTENANCE-BUILDING			
		03	DEPOT CLEANING:AUG 15	01-80-920-41000			200.00
				MAINTENANCE-BUILDING			
						INVOICE TOTAL:	2,050.00
						VENDOR TOTAL:	2,050.00
AASERVIC AA SERVICE CO.							
206247	03/05/15	01	REP'R FURNACE:VILL HALL	01-20-102-20000		07/27/15	250.00
				ACCOUNTS PAYABLE			
						INVOICE TOTAL:	250.00
208801	04/21/15	01	REP'R BOILER:DEPOT	01-20-102-20000		07/27/15	786.00
				ACCOUNTS PAYABLE			
						INVOICE TOTAL:	786.00
						VENDOR TOTAL:	1,036.00
ADP ADP INC.							

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 DETAIL BOARD REPORT

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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

ADP	ADP INC.						
457415696	07/10/15	01	PAYROLL PROCESSING:7/9/15	01-60-610-41304		07/27/15	235.30
				OTHER PROFESSIONAL SERVICE			
						INVOICE TOTAL:	235.30
457415824	07/10/15	01	PAYROLL/TIME/ATTENDANCE	01-60-610-41304		07/27/15	431.40
				OTHER PROFESSIONAL SERVICE			
						INVOICE TOTAL:	431.40
						VENDOR TOTAL:	666.70
ADVBUSGR ADVANCED BUSINESS GROUP LLC							
18694	07/15/15	01	BACK-UP EXCHANGE SERVER:JUN 15	01-60-610-41300		07/27/15	14.00
				COMPUTER SERVICES			
		02	POLICE T-1 LINE CHR:6/15-7/15	01-70-710-43210			387.88
				TELEPHONE			
						INVOICE TOTAL:	401.88
						VENDOR TOTAL:	401.88
AFLAC AFLAC							
887544	07/10/15	01	AFLAC 'EE CONTR:6/25 & 7/9/15	01-20-102-65500		07/27/15	158.86
				AFLAC PAYABLE			
						INVOICE TOTAL:	158.86
						VENDOR TOTAL:	158.86
AIRONEEQ AIR ONE EQUIPMENT, INC.							
11667	07/18/15	01	6 MOS MAINT/TESTING:BREATHING	01-70-730-41200		07/27/15	632.00
				MAINTENANCE EQUIPMENT			
		02	AIR COMPRESSOR:FIRE	** COMMENT **			
						INVOICE TOTAL:	632.00
						VENDOR TOTAL:	632.00
ALLDATA ALLDATA							

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DETAIL BOARD REPORT

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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
ALLDATA ALLDATA							
2015 RENEWAL	06/16/15	01	VEH SRVC/PARTS MANUAL SUBSCRIP	01-80-890-43640		07/27/15	500.00
				MAINTENANCE SUPPLIES-VEHIC			
		02	VEH SRVC/PARTS MANUAL SUBSCRIP	01-70-710-43640			750.00
				MAINTENANCE SUPPLIES-VEHIC			
		03	VEH SRVC/PARTS MANUAL SUBSCRIP	01-60-680-43640			250.00
				MAINTENANCE SUPPLIES-VEHIC			
		04	8/17/15-8/16/16	** COMMENT **			
						INVOICE TOTAL:	1,500.00
						VENDOR TOTAL:	1,500.00
R0001535 ARROW PLUMBING							
PERMIT REFUND	06/23/15	01	REFUND PERMIT-236 E PROSPECT	01-40-303-25000		07/27/15	1,750.00
				BUILDING PERMITS			
		02	BP# 20150359	** COMMENT **			
						INVOICE TOTAL:	1,750.00
						VENDOR TOTAL:	1,750.00
AT & T AT & T							
1507 615-2726	07/04/15	01	LCL PH SRVC:WATER TOWER	46-80-800-43210		07/27/15	92.73
				TELEPHONE			
						INVOICE TOTAL:	92.73
1507 734-5820	07/07/15	01	SPO LEASE	32-70-711-47600		07/27/15	617.01
				SPO LEASE PAYMENT			
						INVOICE TOTAL:	617.01
						VENDOR TOTAL:	709.74
ATLFIRST ATL FIRST AID, INC.							
11717	06/23/15	01	FIRST AID SUPPLIES:POLICE	01-70-710-43570		07/27/15	36.95
				OPERATING SUPPLIES			
						INVOICE TOTAL:	36.95

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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
ATLFIRST ATL FIRST AID, INC.							
11752	07/08/15	01	T-SHIRTS:PUB WKS	01-80-890-42420		07/27/15	282.00
			UNIFORMS				
						INVOICE TOTAL:	282.00
11753	07/08/15	01	FIRST AID SUPPLIES:POLICE	01-70-710-43570		07/27/15	20.90
			OPERATING SUPPLIES				
						INVOICE TOTAL:	20.90
						VENDOR TOTAL:	339.85
BHFLLC BHF LLC							
205527	07/09/15	01	DIGITAL/HARD COPIES:RAVINE PRK	01-60-680-43400		07/27/15	119.00
			PRINTING				
						INVOICE TOTAL:	119.00
						VENDOR TOTAL:	119.00
BLULINE BLUE LINE LEARNING GROUP							
10B9066R15	04/25/15	01	HAZMAT TRNG:HOSKING	01-70-710-42400		07/27/15	425.00
			TRAINING/EDUCATION				
						INVOICE TOTAL:	425.00
						VENDOR TOTAL:	425.00
BOBRIDIN BOB RIDINGS, INC.							
F5868	07/14/15	01	2015 FORD F250 PLOW TRUCK	45-80-870-49420		07/27/15	42,299.00
			PARKS TRUCKS				
		02	TRADE-IN 2007 CHEVY 2500	45-40-603-90000			-12,000.00
			SALE OF ASSETS				
						INVOICE TOTAL:	30,299.00
						VENDOR TOTAL:	30,299.00
BROWNELL BROWNELLS, INC							
11450608.00	07/14/15	01	GUN CLEANING SUPPLIES	01-70-710-42420		07/27/15	366.56
			UNIFORMS				
						INVOICE TOTAL:	366.56
						VENDOR TOTAL:	366.56

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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
BURRISEQ BURRIS EQUIPMENT CO.							
PI53101	07/17/15	01	HYDRAULIC CYLINDERS:BACKHOE	01-80-890-43640		07/27/15	579.93
			MAINTENANCE SUPPLIES-VEHIC				
		02	HYDRAULIC CYLINDERS:BACKHOE	46-80-800-43640			579.94
			MAINTENANCE SUPPLIES-VEHIC				
						INVOICE TOTAL:	1,159.87
						VENDOR TOTAL:	1,159.87
CALLONE CALL ONE							
1010-9117-1506	07/15/15	01	POTS LINES:V HALL ELEVATOR	01-60-610-43210		07/27/15	28.28
			TELEPHONE				
		02	POTS LINES:DISPATCH	01-70-711-43210			104.00
			TELEPHONE				
		03	POTS LINES:FIRE	01-70-730-43210			58.42
			TELEPHONE				
		04	POT'S LINES:PUB WKS	01-80-910-43210			162.29
			TELEPHONE				
						INVOICE TOTAL:	352.99
						VENDOR TOTAL:	352.99
COMED COM ED							
0435147130 1506	07/01/15	01	ELECTR:ST LIGHTS (VILL RENTS)	01-80-840-43230		07/27/15	3,620.55
			UTILITIES/STREET LIGHTS				
		02	JUNE 2015	** COMMENT **			
						INVOICE TOTAL:	3,620.55
1023120097 1506	07/03/15	01	ELECTR:ST LIGHTS (VILL OWNS)	01-80-840-43230		07/27/15	401.46
			UTILITIES/STREET LIGHTS				
		02	6/3-7/2/15	** COMMENT **			
						INVOICE TOTAL:	401.46
2030627002 1506	07/07/15	01	ELECTR:1 GR BAY RD-SS #176	01-80-840-43230		07/27/15	59.74
			UTILITIES/STREET LIGHTS				

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COMED	COM ED						
2030627002	1506	07/07/15	02 6/8-7/7/15	** COMMENT **		07/27/15	
						INVOICE TOTAL:	59.74
3533022019	1506	07/07/15	01 ELECTR:SAN LFT STN-520 LKLAND	01-80-890-43230		07/27/15	533.18
			02 ELECTR:WATER TOWER 5/8-6/8/15	46-80-800-43230			179.52
				UTILITIES ELECTRIC UTILITY		INVOICE TOTAL:	712.70
5190012013	1506	07/08/15	01 ELECTR:WALNUT PRKNG LOT LIGHTS	01-80-840-43230		07/27/15	60.90
			02 6/5-7/8/15	UTILITIES/STREET LIGHTS ** COMMENT **		INVOICE TOTAL:	60.90
						VENDOR TOTAL:	4,855.35
COMCAST COMCAST CABLE							
7/16-8/15/15		07/09/15	01 COMMUNITY ROOM INTERNET ACCESS	01-70-930-41300		07/27/15	136.56
			02 7/16-8/15/15	INTERNET/COMPUTER SERVICES ** COMMENT **		INVOICE TOTAL:	136.56
7/19-8/18/15		07/12/15	01 P WKS CABLE TV/INTERNET ACCESS	01-80-910-43210		07/27/15	124.79
			02 7/19-8/18/15	TELEPHONE ** COMMENT **		INVOICE TOTAL:	124.79
						VENDOR TOTAL:	261.35
DEERPOLI DEERFIELD POLICE DEPARTMENT							
BOC TRNG		07/08/15	01 BREATH OPERATOR CERTIFICATION	01-70-710-42400		07/27/15	302.79
			02 OFCR KASS, SZALKOWSKI & CORONA	TRAINING/EDUCATION ** COMMENT **		INVOICE TOTAL:	302.79
						VENDOR TOTAL:	302.79

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DEERFLD VILLAGE OF DEERFIELD							
43033	06/03/15	01	E SHORE RADIO NETWRK ASSESSMNT	01-70-710-41302		07/27/15	13,276.00
				EAST SHORE RADIO NETWORK			
						INVOICE TOTAL:	13,276.00
						VENDOR TOTAL:	13,276.00
FEDEX FEDERAL EXPRESS CORP.							
5-095-23403	07/15/15	01	7/8 FEDEX:CHRISTOPHR BURKE ENG	01-60-680-43300		07/27/15	24.86
				POSTAGE			
						INVOICE TOTAL:	24.86
						VENDOR TOTAL:	24.86
FEECEOIL FEECE OIL COMPANY							
3366924	07/13/15	01	GASOLINE:1,002 GALLONS	01-10-301-55100		07/27/15	2,807.21
				GASOLINE INVENTORY			
						INVOICE TOTAL:	2,807.21
						VENDOR TOTAL:	2,807.21
FRANKSWI WILLIAM Y. FRANKS							
JUNE 2015	07/15/15	01	PROSECUTIONS-JUN 2015	01-60-600-41351		07/27/15	2,730.00
				PROSECUTION SERVICES			
		02	PROP CODE/ZONING ISSUES:JUN 15	01-60-680-41350			26.00
				LEGAL SERVICE			
						INVOICE TOTAL:	2,756.00
						VENDOR TOTAL:	2,756.00
GFOA GOV'T FINANCE OFFICERS ASSN.							
141001-16	07/07/15	01	2015-16 MEMBER DUES:GRIFFIN	01-60-610-42440		07/27/15	170.00
				DUES			
						INVOICE TOTAL:	170.00
						VENDOR TOTAL:	170.00

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GRAINGER W. W. GRAINGER, INC.							
9792343320	07/16/15	01	POISON IVY TREATMENT:PUB WKS	01-80-910-43660		07/27/15	100.31
				MAINTENANCE SUPPLIES-BLDG			
						INVOICE TOTAL:	100.31
						VENDOR TOTAL:	100.31
GROOT GROOT INDUSTRIES							
13381415	07/07/15	01	WASTE DISPOSAL/RECYCLNG:JUL 15	01-80-850-41305		07/27/15	45,452.80
				WASTE/RECYCLING CONTRACT			
						INVOICE TOTAL:	45,452.80
						VENDOR TOTAL:	45,452.80
HDSUPPLY HD SUPPLY WATERWORKS, LTD							
E072132	07/09/15	01	BATTERY:WTR METER READER	46-80-800-43575		07/27/15	36.10
				WATER METERS			
						INVOICE TOTAL:	36.10
E110630	07/09/15	01	HYDRANT METER PARTS	46-80-800-43575		07/27/15	152.59
				WATER METERS			
						INVOICE TOTAL:	152.59
E172872	07/09/15	01	PVC PIPE:STORM SEWER REP'R	01-80-890-43670		07/27/15	64.50
				MAINTENANCE SUPPLIES-UTILI			
						INVOICE TOTAL:	64.50
						VENDOR TOTAL:	253.19
ICMA RET ICMA RETIREMENT TRUST 457							
7/23 PAYROLL DEDUCT	07/23/15	01	7/23 'EE PAYROLL DEDUCTION	01-20-102-45000		07/27/15	168.84
		02	7/23 'EE PAYROLL DEDUCTION	ICMA 457 PLAN PAYABLE 01-20-102-45000			422.08
		03	7/23 'EE PAYROLL DEDUCTION	ICMA 457 PLAN PAYABLE 01-20-102-45000			201.29
				ICMA 457 PLAN PAYABLE			
						INVOICE TOTAL:	792.21

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ICMA RET ICMA RETIREMENT TRUST 457							
7/23 W/H	07/23/15	01	7/23 'EE W/H	01-20-102-45000		07/27/15	3,203.07
				ICMA 457 PLAN PAYABLE			
						INVOICE TOTAL:	3,203.07
						VENDOR TOTAL:	3,995.28
ILCMA I L C M A CENTER FOR GOV'T							
160	07/13/15	01	JOB POSTING:PUB WKS MECHANIC	01-80-840-42450		07/27/15	50.00
				RECRUITMENT			
						INVOICE TOTAL:	50.00
						VENDOR TOTAL:	50.00
IFOP IL FRATERNAL ORDER OF POLICE							
7/23 W/H	07/23/15	01	'EE W/HELD FOP DUES:7/23/15	01-20-102-49000		07/27/15	279.50
				UNION DUES PAYABLE			
						INVOICE TOTAL:	279.50
7/9 W/H	07/09/15	01	'EE W/HELD FOP DUES:7/9/15	01-20-102-49000		07/27/15	279.50
				UNION DUES PAYABLE			
						INVOICE TOTAL:	279.50
						VENDOR TOTAL:	559.00
IEPA ILLINOIS ENVIRON PROTECT AGENC							
LIC RENEWAL:HERTEL	07/08/15	01	WATER LIC RENEWAL:HERTEL	46-80-800-42440		07/27/15	20.00
				DUES			
						INVOICE TOTAL:	20.00
						VENDOR TOTAL:	20.00
IUOEADM INT'L UNION OF OPER ENGINEERS							
7/23 W/H	07/23/15	01	7/23 'EE IUOE ADMIN DUES	01-20-102-49000		07/27/15	318.77
				UNION DUES PAYABLE			
						INVOICE TOTAL:	318.77
						VENDOR TOTAL:	318.77

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TUOEMEMB INT'L UNION OF OPER ENGINEERS							
7/23 W/H	07/23/15	01	7/23 'EE IUOE MEMBERSHIP DUES	01-20-102-49000		07/27/15	82.39
				UNION DUES PAYABLE			
						INVOICE TOTAL:	82.39
						VENDOR TOTAL:	82.39
INTLAKES INTEGRATED LAKES MANAGEMENT							
23242	06/19/15	01	POND TREATMENT:PUB WKS	01-80-870-41050		07/27/15	726.63
				MAINTENANCE GROUNDS			
						INVOICE TOTAL:	726.63
						VENDOR TOTAL:	726.63
INTESTAT INTERSTATE BATTERY SYSTEM OF							
1903901009323	07/16/15	01	"AA" BATTERIES:PUB WKS	01-80-910-43650		07/27/15	13.05
				MAINTENANCE SUPPLIES-EQUIP			
						INVOICE TOTAL:	13.05
						VENDOR TOTAL:	13.05
JULIE JULIE, INC.							
2015-0928 #3	06/30/15	01	QTRLY JULIE LOCATES:JUL-SEP 15	46-20-102-20000		07/27/15	466.32
				ACCOUNTS PAYABLE			
						INVOICE TOTAL:	466.32
						VENDOR TOTAL:	466.32
LBPARKDI LAKE BLUFF PARK DISTRICT							
570 LANSLOWNE	04/07/15	01	IMPACT FEE:570 LANSLOWNE LN	01-20-102-22000		07/27/15	15,454.22
				OTHER PAYABLES			
						INVOICE TOTAL:	15,454.22
						VENDOR TOTAL:	15,454.22
POLPEN LAKE BLUFF POLICE PENSION FUND							

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POLPEN LAKE BLUFF POLICE PENSION FUND							
7/23 W/H	07/23/15	01	7/23 FEE POLPEN W/HELD	01-20-102-45500		07/27/15	5,346.09
				POLICE PENSION FEE CONTRIBU			
						INVOICE TOTAL:	5,346.09
						VENDOR TOTAL:	5,346.09
LBSCHOOL LAKE BLUFF SCHOOL DIST. 65							
570 LANSLOWNE	04/07/15	01	IMPACT FEE:570 LANSLOWNE LN	01-20-102-22000		07/27/15	9,068.76
				OTHER PAYABLES			
						INVOICE TOTAL:	9,068.76
						VENDOR TOTAL:	9,068.76
LCHOSE LAKE COUNTY HOSE AND EQUIPMENT							
132152	07/08/15	01	SEWER JET HOSE	01-80-890-43650		07/27/15	162.61
				MAINTENANCE SUPPLIES-EQUIP			
						INVOICE TOTAL:	162.61
						VENDOR TOTAL:	162.61
LCRECORD LAKE COUNTY RECORDER							
2015-000365536	06/19/15	01	RECORD BIKE PTH EASEMNT:TARGET	01-20-202-20557		07/27/15	75.00
				ZONING ESCROW SHEPARD REDE			
		02	RECORD UTILITIES EASMNT:TARGET	01-20-202-20557			70.00
				ZONING ESCROW SHEPARD REDE			
		03	COPIES	01-20-202-20557			4.00
				ZONING ESCROW SHEPARD REDE			
						INVOICE TOTAL:	149.00
						VENDOR TOTAL:	149.00
LFHIGHSC LAKE FOREST SCHOOL DIST 115							
570 LANSLOWNE	04/07/15	01	IMPACT FEE:570 LANSLOWNE LN	01-20-102-22000		07/27/15	4,121.30
				OTHER PAYABLES			
						INVOICE TOTAL:	4,121.30
						VENDOR TOTAL:	4,121.30

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LFLBROTA LAKE FOREST/LAKE BLUFF ROTARY							
1473	07/09/15	01	BELMONTE QTRLY DUES:JUL-SEP 15	01-70-710-42440		07/27/15	55.00
			DUES				
		02	BELMONTE MEAL CHRG:JUL-SEP 15	01-70-710-42440			252.00
			DUES				
						INVOICE TOTAL:	307.00
1496	07/09/15	01	IRVIN QTRLY DUES:JUL-SEP 15	01-60-600-42440		07/27/15	55.00
			DUES				
		02	IRVIN MEAL CHRG:JULY-SEP 15	01-60-600-42440			252.00
			DUES				
						INVOICE TOTAL:	307.00
2364	07/16/15	01	MEETING WITH THE MAYORS:IRVIN	01-60-600-42400		07/27/15	35.00
			TRAINING/EDUCATION				
						INVOICE TOTAL:	35.00
						VENDOR TOTAL:	649.00
LAWSONPR LAWSON PRODUCTS, INC.							
9303414814	07/14/15	01	DRILL BITS/JANITORIAL SUPPLIES	01-80-890-43640		07/27/15	87.02
		02	PUB WKS	01-80-890-43640			
				** COMMENT **			
						INVOICE TOTAL:	87.02
						VENDOR TOTAL:	87.02
LECHNER LECHNER & SONS UNIFORM RENTAL							
2047366	07/10/15	01	UNIFORMS: FORESTRY	01-80-860-42420		07/27/15	4.79
			UNIFORMS				
		02	UNIFORMS: STREETS	01-80-840-42420			22.91
			UNIFORMS				
		03	UNIFORMS: SEWERS	01-80-890-42420			1.72
			UNIFORMS				
		04	UNIFORMS: PUB WKS	01-80-910-42420			18.37
			UNIFORMS				

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LECHNER LECHNER & SONS UNIFORM RENTAL							
2047366	07/10/15	05	UNIFORMS: WATER	46-80-800-42420		07/27/15	1.00
		06	PUB WKS OPERATING SUPPLIES	01-80-910-43660			10.23
				MAINTENANCE SUPPLIES-BLDG			
						INVOICE TOTAL:	59.02
2051568	07/17/15	01	UNIFORMS: FORESTRY	01-80-860-42420		07/27/15	4.79
		02	UNIFORMS: STREETS	01-80-840-42420			22.91
		03	UNIFORMS: SEWERS	01-80-890-42420			1.72
		04	UNIFORMS: PUB WKS	01-80-910-42420			18.37
		05	UNIFORMS: WATER	46-80-800-42420			1.00
		06	PUB WKS OPERATING SUPPLIES	01-80-910-43660			10.23
				MAINTENANCE SUPPLIES-BLDG			
						INVOICE TOTAL:	59.02
						VENDOR TOTAL:	118.04
LURVEYLA LURVEY LANDSCAPE SUPPLY							
T6-10034720	07/15/15	01	GRASS SEED/DIRT: PARKWAY REP'R	01-80-870-43680		07/27/15	387.00
				MAINTENANCE SUPPLIES-GROUN			
						INVOICE TOTAL:	387.00
						VENDOR TOTAL:	387.00
MC ALLIS MC ALLISTER SIGN CO.							
9667	07/02/15	01	DECALS: NEW TRUCK #52615	45-80-870-49420		07/27/15	20.00
				PARKS TRUCKS			
						INVOICE TOTAL:	20.00
						VENDOR TOTAL:	20.00

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MC MASTE MC MASTER-CARR SUPPLY CO.							
34941921	07/20/15	01	HOSES/NOZZLES:FIRE	01-70-730-43650		07/27/15	413.93
				MAINTENANCE SUPPLIES-EQUIP			
						INVOICE TOTAL:	413.93
						VENDOR TOTAL:	413.93
MENARDS MENARD'S							
82776	07/09/15	01	LITTER PINCHERS	01-80-850-43650		07/27/15	5.97
				MAINTENANCE SUPPLIES-EQUIP			
		02	RUBBER MALLETS	01-80-890-45900			7.98
				MINOR EQUIPMENT			
		03	MOSQUITO SPRAY	01-80-860-43650			58.80
				MAINTENANCE SUPPLIES-EQUIP			
		04	SHOCK:V HALL FOUNTAIN	01-60-900-43660			7.84
				MAINTENANCE SUPPLIES-BUILD			
		05	LAUNDRY DETERGENT:PUB WKS	01-80-910-43660			16.97
				MAINTENANCE SUPPLIES-BLDG			
						INVOICE TOTAL:	97.56
						VENDOR TOTAL:	97.56
MINNLIFE MINNESOTA LIFE							
JULY 2015	07/06/15	01	IND LIFE PREM:FINANCE-JULY 15	01-60-610-40420		07/27/15	204.67
				LIFE INSURANCE			
		02	IND LIFE PREM:ADMIN-JULY 15	01-60-600-40420			97.95
				LIFE INSURANCE			
		03	IND LIFE PREM:POLICE-JULY 15	01-70-710-40420			85.75
				LIFE INSURANCE			
		04	IND LIFE PREM:PRK DIST-JULY 15	01-10-201-37200			36.09
				DUE FROM PARK DISTRICT			
						INVOICE TOTAL:	424.46
						VENDOR TOTAL:	424.46
NAPA NAPA AUTO SUPPLY							

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NAPA NAPA AUTO SUPPLY							
565766	07/14/15	01	HEADLAMP ENG #4519	01-70-730-43640		07/27/15	16.98
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	16.98
						VENDOR TOTAL:	16.98
NAPLETON NAPLETON LIBERTYVILLE FORD							
6031241/1	07/02/15	01	REP'L A/C COMPRESSOR TRK #620	46-80-800-41100		07/27/15	1,242.12
				MAINTENANCE-VEHICLES			
						INVOICE TOTAL:	1,242.12
						VENDOR TOTAL:	1,242.12
NCCPETER NCC PETERSEN PRODUCTS							
67284	06/23/15	01	KITCHEN SUPPLIES: POLICE	01-70-710-43570		07/27/15	56.65
				OPERATING SUPPLIES			
						INVOICE TOTAL:	56.65
67417	07/09/15	01	JANITORIAL SUPPLIES: PUB WKS	01-80-910-43660		07/27/15	134.84
		02	TRASH BAGS FOR SPECIAL EVENTS	01-80-850-44650			395.10
				WASTE DISPOSAL SERVICES			
						INVOICE TOTAL:	529.94
						VENDOR TOTAL:	586.59
NEWS-SUN NEWS-SUN							
ANN'L RENEWAL	07/21/15	01	NEWS-SUN DELIVERY TO VILL HALL	01-60-600-42460		07/27/15	118.56
				PUBLICATIONS			
						INVOICE TOTAL:	118.56
						VENDOR TOTAL:	118.56
NOSHRWAT NORTH SHORE WATER RECLAMATION							
3068527	07/11/15	01	WSTWTR TREATMENT:PW GARAGE	01-80-910-43230		07/27/15	9.28
				UTILITIES			

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NOSHRWAT NORTH SHORE WATER RECLAMATION							
3068527	07/11/15	02	3/20-6/9/15			07/27/15	
				** COMMENT **			
						INVOICE TOTAL:	9.28
						VENDOR TOTAL:	9.28
R0001533 STEPHEN OLNAS							
REFUND VEH STICKER	04/28/15	01	REFUND VEH STICKER-SOLD CAR	01-40-303-16000		07/27/15	40.00
				VEHICLE LICENSES			
						INVOICE TOTAL:	40.00
						VENDOR TOTAL:	40.00
PCASH PETTY CASH							
JULY 2015	07/08/15	01	MISC PETTY CASH EXPENDITURES	01-60-650-44610		07/27/15	50.00
				FARMER'S MARKET			
		02	MISC PETTY CASH EXPENDITURES	01-60-600-40900			31.77
				OTHER EMPLOYEE BENEFITS			
		03	MISC PETTY CASH EXPENDITURES	01-60-650-40800			178.83
				BOARD/COMMITTEE RECOGNITIO			
		04	MISC PETTY CASH EXPENDITURES	01-60-650-41304			4.99
				OTHER PROFESSIONAL SERVICE			
		05	MISC PETTY CASH EXPENDITURES	01-60-610-40800			33.00
				EMPLOYEE RECOGNITION			
		06	MISC PETTY CASH EXPENDITURES	01-80-860-42400			9.40
				TRAINING/EDUCATION			
		07	MISC POLICE PETTY CASH EXPEND	01-70-710-40800			18.30
				EMPLOYEE RECOGNITION			
		08	MISC POLICE PETTY CASH EXPEND	01-70-710-42411			12.76
				MILEAGE EXPENSE			
		09	MISC POLICE PETTY CASH EXPEND	01-70-710-42400			104.10
				TRAINING/EDUCATION			
		10	MISC POLICE PETTY CASH EXPEND	01-70-710-43300			15.29
				POSTAGE			
						INVOICE TOTAL:	458.44
						VENDOR TOTAL:	458.44

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PRECSERV PRECISION SERVICE & PARTS, INC							
30IV054201	07/08/15	01	SPARK PLUGS #850	01-80-860-43640		07/27/15	60.48
				MAINT. SUPPLIES-VEHICLES			
						INVOICE TOTAL:	60.48
						VENDOR TOTAL:	60.48
QUILL QUILL CORP.							
5673944	07/07/15	01	OFFICE SUPPLIES:PUB WKS	01-80-910-43550		07/27/15	29.98
				OFFICE SUPPLIES			
		02	OFFICE SUPPLIES:VILL HALL	01-60-610-43550			37.59
				OFFICE SUPPLIES			
						INVOICE TOTAL:	67.57
5718000	07/08/15	01	OFFICE SUPPLIES:FIRE	01-70-730-43550		07/27/15	15.98
				OFFICE SUPPLIES			
						INVOICE TOTAL:	15.98
5794579	07/10/15	01	OFFICE SUPPLIES:FIRE	01-70-730-43550		07/27/15	46.99
				OFFICE SUPPLIES			
						INVOICE TOTAL:	46.99
						VENDOR TOTAL:	130.54
RLBHYDRA RLB HYDRAULIC SERVICES							
2218	07/20/15	01	LOCK CYLINDER PIN #423	01-80-890-41200		07/27/15	55.58
				MAINTENANCE EQUIPMENT			
		02	LOCK CYLINDER PIN #423	46-80-800-41200			55.59
				MAINTENANCE-EQUIPMENT			
						INVOICE TOTAL:	111.17
						VENDOR TOTAL:	111.17
SCHELHAS WILLIAM A. SCHELHAS							
JUNE 2015	07/20/15	01	VLB SHARE PROD ASST:JUNE 2015	01-60-600-41304		07/27/15	1,280.00
				OTHER PROFESSIONAL SERVICE			
						INVOICE TOTAL:	1,280.00
						VENDOR TOTAL:	1,280.00

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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
SHERAUTO SHERIDAN AUTO PARTS							
871508	07/13/15	01	AIR FILTERS #525	01-80-870-43650		07/27/15	33.51
		02	OIL FILTER #620	46-80-800-43640			4.23
				MAINTENANCE SUPPLIES-EQUIP			
				MAINTENANCE SUPPLIES-VEHIC			
						INVOICE TOTAL:	37.74
871621	07/13/15	01	SPARK PLUGS FOR CONCRETE SAW	01-80-890-43650		07/27/15	13.52
				MAINTENANCE SUPPLIES-EQUIP			
						INVOICE TOTAL:	13.52
						VENDOR TOTAL:	51.26
R0001534 RYAN SMITH							
PARKWAY BOND	06/17/15	01	REFUND BOND:PERMIT #20140171	01-20-202-20100		07/27/15	2,500.00
				PARKWAY BONDS			
						INVOICE TOTAL:	2,500.00
						VENDOR TOTAL:	2,500.00
SNAPONBR SNAP-ON TOOLS							
07071510045	07/07/15	01	SPARK PLUG SOCKETS #620	46-80-800-45900		07/27/15	105.68
				MINOR EQUIPMENT			
						INVOICE TOTAL:	105.68
						VENDOR TOTAL:	105.68
STANICKB BRANDON STANICK							
APWA JOB POSTING	07/14/15	01	JOB POSTING:PUB WKS MECHANIC	01-80-840-42450		07/27/15	295.00
				RECRUITMENT			
						INVOICE TOTAL:	295.00
WEBINAR ICMA	07/08/15	01	ECONOMIC DEVELOPMNT WEBINAR	01-60-600-42400		07/27/15	149.00
				TRAINING/EDUCATION			
						INVOICE TOTAL:	149.00
						VENDOR TOTAL:	444.00

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STAPLES STAPLES ADVANTAGE							
3269985740	06/27/15	01	OFFICE SUPPLIES:POLICE	01-70-710-43550		07/27/15	74.77
			OFFICE SUPPLIES				
						INVOICE TOTAL:	74.77
3269985741	06/27/15	01	OFFICE SUPPLIES:POLICE	01-70-710-43550		07/27/15	8.39
			OFFICE SUPPLIES				
						INVOICE TOTAL:	8.39
3270489776	07/01/15	01	OFFICE SUPPLIES:POLICE	01-70-710-43550		07/27/15	63.99
			OFFICE SUPPLIES				
						INVOICE TOTAL:	63.99
						VENDOR TOTAL:	147.15
STATEDIS STATE DISBURSEMENT UNIT							
7/23 PAYROLL DEDUCT	07/23/15	01	7/23 'EE PAYROLL DEDUCTION	01-20-102-51000		07/27/15	579.69
				WAGE ASSIGNMENT PAYABLE			
						INVOICE TOTAL:	579.69
						VENDOR TOTAL:	579.69
THEEXCHA THE CHEVY EXCHANGE							
123975	07/14/15	01	IGNITION CYLINDER SQD #22	01-70-710-41100		07/27/15	283.38
			MAINTENANCE-VEHICLES				
						INVOICE TOTAL:	283.38
						VENDOR TOTAL:	283.38
TRANSUNI TRANS UNION RISK & ALTERNATIVE							
JUNE 2015	07/01/15	01	PERSON SEARCH:POLICE	01-70-710-43570		07/27/15	41.00
			OPERATING SUPPLIES				
						INVOICE TOTAL:	41.00
						VENDOR TOTAL:	41.00
TRUGREEN TRUGREEN CHEMLAWN							

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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
TRUGREEN TRUGREEN CHEMLAWN							
35144827	07/06/15	01	TURF SPRAYING OF VILLAGE GREEN	01-80-870-41304		07/27/15	148.00
				OTHER PROFESSIONAL SERVICE			
						INVOICE TOTAL:	148.00
						VENDOR TOTAL:	148.00
UNIONPAC UNION PACIFIC RAILROAD CO.							
APR 16-30 2015	07/14/15	01	ADD'L LEASE PYMT:APRIL 2015	01-20-102-20000		07/27/15	671.33
				ACCOUNTS PAYABLE			
						INVOICE TOTAL:	671.33
						VENDOR TOTAL:	671.33
UNCOFFEE UNITED COFFEE SERVICE, INC.							
548350	07/10/15	01	COFFEE & SUPPLIES:POLICE	01-70-930-43660		07/27/15	192.50
				MAINTENANCE SUPPLIES-BLDG			
						INVOICE TOTAL:	192.50
						VENDOR TOTAL:	192.50
USPOSTAL UNITED STATES POSTAL SERVICE							
2015 JULY	07/16/15	01	POSTAGE:BUSINESS REPLY ACCT	46-80-800-43300		07/27/15	150.00
				POSTAGE			
						INVOICE TOTAL:	150.00
JULY 2015	07/16/15	01	REPLENISH POSTAGE METER	01-60-600-43300		07/27/15	1,000.00
				POSTAGE			
						INVOICE TOTAL:	1,000.00
						VENDOR TOTAL:	1,150.00
VERIZON VERIZON WIRELESS							
9748165327	07/01/15	01	WIRELESS SRVC:FIRE 6/2-7/1/15	01-70-730-43210		07/27/15	46.61
				TELEPHONE			

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VERIZON VERIZON WIRELESS							
9748165327	07/01/15	02	WIRELESS SRVC:POLICE	01-70-710-43210		07/27/15	409.86
			TELEPHONE				
		03	WIRELESS SRVC:PUB WKS	01-80-910-43210			254.11
			TELEPHONE				
		04	WIRELESS SRVC:ADMIN	01-60-600-43210			145.41
			TELEPHONE				
		05	WIRELESS SRVC:COM DEVELOPMENT	01-60-680-43210			120.24
			TELEPHONE				
		06	SQD CAR WIRELESS ACCESS POLICE	01-70-710-43210			400.67
			TELEPHONE				
		07	CAD SYSTEM	** COMMENT **			
						INVOICE TOTAL:	1,376.90
						VENDOR TOTAL:	1,376.90
VISOGRAP VISOGRAPHIC INC							
196192	06/30/15	01	VILL LETTERHEAD 2ND SHEET	01-60-610-43400		07/27/15	398.51
			PRINTING				
						INVOICE TOTAL:	398.51
196194	06/30/15	01	VILLAGE LETTERHEAD	01-60-610-43400		07/27/15	836.31
			PRINTING				
						INVOICE TOTAL:	836.31
196340	07/10/15	01	VILL LETTERHEAD ENVELOPES	01-60-610-43400		07/27/15	1,401.29
			PRINTING				
						INVOICE TOTAL:	1,401.29
						VENDOR TOTAL:	2,636.11
WESTGROU WEST PUBLISHING CO.							
832165865	07/04/15	01	IL COMP STATE BAR 2014 V1-4	01-60-600-42460		07/27/15	212.94
			PUBLICATIONS				
		02	VILL HALL	** COMMENT **			
						INVOICE TOTAL:	212.94
						VENDOR TOTAL:	212.94

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INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

R0001536	COLLEEN WILSON						
PARKWAY BOND	10/18/06	01	REFUND BOND:PERMIT #12085	01-20-202-20100		07/27/15	1,000.00
				PARKWAY BONDS			
						INVOICE TOTAL:	1,000.00
						VENDOR TOTAL:	1,000.00
						TOTAL ALL INVOICES:	171,095.77

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INVOICES DUE ON/BEFORE 07/27/2015

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE

GENERAL FUND			
10	ASSETS		
FEECEOIL	FEECE OIL COMPANY	16,741.26	2,807.21
MINNLIFE	MINNESOTA LIFE	1,090.97	36.09
	ASSETS		2,843.30
20	LIABILITIES		
AASERVIC	AA SERVICE CO.		1,036.00
AFLAC	AFLAC	476.58	158.86
ICMA RET	ICMA RETIREMENT TRUST 457	19,144.53	3,995.28
IFOP	IL FRATERNAL ORDER OF POLICE	1,118.00	559.00
IUOEADM	INT'L UNION OF OPER ENGINEERS	1,562.40	318.77
IUOEMEMB	INT'L UNION OF OPER ENGINEERS	411.95	82.39
LBPARKDI	LAKE BLUFF PARK DISTRICT		15,454.22
LBSCHOOL	LAKE BLUFF SCHOOL DIST. 65		9,068.76
LCRECORD	LAKE COUNTY RECORDER	215.00	149.00
LFHIGHSC	LAKE FOREST SCHOOL DIST 115		4,121.30
POLPEN	LAKE BLUFF POLICE PENSION FUND	24,700.11	5,346.09
R0001534	RYAN SMITH		2,500.00
R0001536	COLLEEN WILSON		1,000.00
STATEDIS	STATE DISBURSEMENT UNIT	2,898.45	579.69
UNIONPAC	UNION PACIFIC RAILROAD CO.	8,302.56	671.33
	LIABILITIES		45,040.69
40	REVENUE		
R0001533	STEPHEN OLNAS		40.00
R0001535	ARROW PLUMBING		1,750.00
	REVENUE		1,790.00
60	ADMINISTRATION		
121ELEV	121 ELEVATOR INCORPORATED	538.12	525.00
A PLUS	A PLUS BUILDING SERVICES	6,150.00	490.00
ADP	ADP INC.	1,803.11	666.70
ADVBUSGR	ADVANCED BUSINESS GROUP LLC	803.76	14.00
ALLDATA	ALLDATA		250.00
BHFXLLC	BHFX LLC	753.61	119.00
CALLONE	CALL ONE	1,147.14	28.28

INVOICES DUE ON/BEFORE 07/27/2015

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE

GENERAL FUND			
60	ADMINISTRATION		
FEDEX	FEDERAL EXPRESS CORP.	32.90	24.86
FRANKSWI	WILLIAM Y. FRANKS	4,719.00	2,756.00
GFOA	GOV'T FINANCE OFFICERS ASSN.	150.00	170.00
LFLBROTA	LAKE FOREST/LAKE BLUFF ROTARY		342.00
MENARDS	MENARD'S	37.86	7.84
MINNLIFE	MINNESOTA LIFE	1,090.97	302.62
NEWS-SUN	NEWS-SUN	102.96	118.56
PCASH	PETTY CASH	451.37	298.59
QUILL	QUILL CORP.	848.50	37.59
SCHELHAS	WILLIAM A. SCHELHAS	2,240.00	1,280.00
STANICKB	BRANDON STANICK	2,915.00	149.00
USPOSTAL	UNITED STATES POSTAL SERVICE	1,686.00	1,000.00
VERIZON	VERIZON WIRELESS	2,667.20	265.65
VISOGRAP	VISOGRAPHIC INC	5,835.66	2,636.11
WESTGROU	WEST PUBLISHING CO.		212.94
	ADMINISTRATION		11,694.74
70	PUBLIC SAFETY		
A PLUS	A PLUS BUILDING SERVICES	6,150.00	1,360.00
ADVBUSGR	ADVANCED BUSINESS GROUP LLC	803.76	387.88
AIRONEEQ	AIR ONE EQUIPMENT, INC.	3,266.86	632.00
ALLDATA	ALLDATA		750.00
ATLFIRST	ATL FIRST AID, INC.	1,250.20	57.85
BLULINE	BLUE LINE LEARNING GROUP		425.00
BROWNELL	BROWNELLS, INC		366.56
CALLONE	CALL ONE	1,147.14	162.42
COMCAST	COMCAST CABLE	445.28	136.56
DEERFLD	VILLAGE OF DEERFIELD		13,276.00
DEERPOLI	DEERFIELD POLICE DEPARTMENT		302.79
LFLBROTA	LAKE FOREST/LAKE BLUFF ROTARY		307.00
MC MASTE	MC MASTER-CARR SUPPLY CO.	662.86	413.93
MINNLIFE	MINNESOTA LIFE	1,090.97	85.75
NAPA	NAPA AUTO SUPPLY	589.55	16.98
NCCPETER	NCC PETERSEN PRODUCTS	604.93	56.65
PCASH	PETTY CASH	451.37	150.45
QUILL	QUILL CORP.	848.50	62.97
STAPLES	STAPLES ADVANTAGE	1,842.91	147.15
THEEXCHA	THE CHEVY EXCHANGE	1,866.40	283.38
TRANSUNI	TRANS UNION RISK & ALTERNATIVE	33.25	41.00
UNCOFFEE	UNITED COFFEE SERVICE, INC.	1,392.35	192.50
VERIZON	VERIZON WIRELESS	2,667.20	857.14
	PUBLIC SAFETY		20,471.96

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INVOICES DUE ON/BEFORE 07/27/2015

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE

GENERAL FUND			
80	PUBLIC WORKS		
A PLUS	A PLUS BUILDING SERVICES	6,150.00	200.00
ALLDATA	ALLDATA		500.00
APS	APS INC.	22.00	18.93
ATLFIRST	ATL FIRST AID, INC.	1,250.20	282.00
BURRISEQ	BURRIS EQUIPMENT CO.		579.93
CALLONE	CALL ONE	1,147.14	162.29
COMCAST	COMCAST CABLE	445.28	124.79
COMED	COM ED	10,767.38	4,675.83
GRAINGER	W. W. GRAINGER, INC.	764.50	100.31
GROOT	GROOT INDUSTRIES	90,905.60	45,452.80
HDSUPPLY	HD SUPPLY WATERWORKS, LTD	8,718.00	64.50
ILCMA	I L C M A CENTER FOR GOV'T	171.25	50.00
INTESTAT	INTERSTATE BATTERY SYSTEM OF	48.30	13.05
INTLAKES	INTEGRATED LAKES MANAGEMENT		726.63
LAWSONPR	LAWSON PRODUCTS, INC.	1,381.56	87.02
LCHOSE	LAKE COUNTY HOSE AND EQUIPMENT		162.61
LECHNER	LECHNER & SONS UNIFORM RENTAL	649.22	116.04
LURVEYLA	LURVEY LANDSCAPE SUPPLY	550.35	387.00
MENARDS	MENARD'S	37.86	89.72
NCCPETER	NCC PETERSEN PRODUCTS	604.93	529.94
NOSHRWAT	NORTH SHORE WATER RECLAMATION	95.12	9.28
PCASH	PETTY CASH	451.37	9.40
PRECSERV	PRECISION SERVICE & PARTS, INC	1,504.44	60.48
QUILL	QUILL CORP.	848.50	29.98
RLBHYDRA	RLB HYDRAULIC SERVICES		55.58
SHERAUTO	SHERIDAN AUTO PARTS	275.89	47.03
STANICKB	BRANDON STANICK	2,915.00	295.00
TRUGREEN	TRUGREEN CHEMLAWN		148.00
VERIZON	VERIZON WIRELESS	2,667.20	254.11
	PUBLIC WORKS		55,232.25
EMERGENCY 911 SURCHARGE			
70	PUBLIC SAFETY		
AT & T	AT & T	6,923.18	617.01
	PUBLIC SAFETY		617.01
VEHICLE/EQUIP REPLACEMENT FUND			
40	REVENUES		

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INVOICES DUE ON/BEFORE 07/27/2015

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE

VEHICLE/EQUIP REPLACEMENT FUND			
40	REVENUES		
BOBRIDIN	BOB RIDINGS, INC.		-12,000.00
	REVENUES		-12,000.00
80	PUBLIC WORKS		
BOBRIDIN	BOB RIDINGS, INC.		42,299.00
MC ALLIS	MC ALLISTER SIGN CO.		20.00
	PUBLIC WORKS		42,319.00
WATER FUND			
20	LIABILITIES		
JULIE	JULIE, INC.		466.32
	LIABILITIES		466.32
80	PUBLIC WORKS		
AT & T	AT & T	6,923.18	92.73
BURRISEQ	BURRIS EQUIPMENT CO.		579.94
COMED	COM ED	10,767.38	179.52
HDSUPPLY	HD SUPPLY WATERWORKS, LTD	8,718.00	188.69
IEPA	ILLINOIS ENVIRON PROTECT AGENC	1,010.00	20.00
LECHNER	LECHNER & SONS UNIFORM RENTAL	649.22	2.00
NAPLETON	NAPLETON LIBERTYVILLE FORD		1,242.12
RLBHYDRA	RLB HYDRAULIC SERVICES		55.59
SHERAUTO	SHERIDAN AUTO PARTS	275.89	4.23
SNAPONBR	SNAP-ON TOOLS		105.68
USPOSTAL	UNITED STATES POSTAL SERVICE	1,686.00	150.00
	PUBLIC WORKS		2,620.50
	TOTAL ALL DEPARTMENTS		171,095.77

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 11

Subject: A RESOLUTION APPROVING A SIGN EXEMPTION REQUEST
(TARGET/STARBUCKS – 975 ROCKLAND ROAD)

Action Requested: ADOPTION OF THE RESOLUTION (Roll Call Vote)

Originated By: MODERN SIGNS (Petitioner)

Referred To: ARCHITECTURAL BOARD OF REVIEW

Summary of Background and Reason For Request:

There is a Starbucks coffee shop inside the new Target Store. A sign consisting of a 2' diameter illuminated Starbucks logo was placed in the window to the left of the main entrance. This sign was not included in the previously approved sign package.

The Sign Code's definition of a window sign includes a sign which is "placed inside a window so as to be visible from the exterior of the building or structure in which the window is located." Window signs are not permitted in the L-1 or L-2 zoning districts; therefore, an exemption from the code is requested.

The Architectural Board of Review ("ABR") reviewed the proposed sign at its July 7th meeting and unanimously voted to recommend that the Village Board grant the exemption and allow the proposed sign.

In preparation for the Village Board's consideration of the request, the neighboring property owners have been notified of the meeting date and a resolution has been prepared transmitting the ABR's recommendation.

Ernie DiFiore of Modern Signs, as well as Village Staff, will be in attendance at the meeting to answer questions from the Board.

Reports and Documents Attached:

1. A copy of a Resolution Approving a Sign Exemption Request for Starbucks;
2. A Drawing of the Proposed Sign; and
3. A copy of the July 7, 2015 ABR Staff Report (without Attachments).

ABR's Recommendation: Adoption of the Resolution.

Village Administrator's Recommendation: Adoption of the Resolution.

Date Referred to Village Board: 7/27/2015

RESOLUTION NO. 2015-

**A RESOLUTION APPROVING
A SIGN EXEMPTION REQUEST
(Target/Starbucks – 975 Rockland Road)**

WHEREAS, Target Corporation ("**Owner**") operates a Target Department Store on the property it owns that is located at 975 Rockland Road in the Village within the Village's L-2 Limited Light Industry District ("**Property**"); and

WHEREAS, the Village's Architectural Board of Review ("**ABR**") has approved a Signage Plan for the Property pursuant to Ordinance 2013-15 ("**Approval Ordinance**"), which authorized the development of the Property as a planned commercial development; and

WHEREAS, pursuant to Subsection 9.L.2 of the Approval Ordinance, the ABR may approve replacement signage for the Property which, upon ABR approval, shall be deemed incorporated into the Signage Plan; and

WHEREAS, the Owner has requested an exemption from Section 10-10-14D10, which prohibits window signs in the L-2 District ("**Sign Exemption Request**"), in order to install a window sign identifying the Starbucks coffee shop located within the Target Store ("**Sign**"), as depicted in the plans prepared by Philadelphia Sign consisting of three pages with a last revision date of June 23, 2015, which plans are attached to and incorporated into this Resolution as Exhibit A ("**Plans**"); and

WHEREAS, pursuant to Section 10-10-15B of the Municipal Code, the Architectural Board of Review considered the Sign Exemption Request at its public meeting on July 7, 2015, on which date the Architectural Board of Review recommended that the Village Board approve the Sign Exemption Request; and

WHEREAS, pursuant to the Zoning Regulations, the Village Administrator caused written notice to be mailed to the owners of all property contiguous to, or directly across the public right-of-way from the Property, which notice informed those owners of the address of the Property and the nature of the Sign Exemption Request; and

WHEREAS, pursuant to Section 10-10-19B of the Zoning Regulations, the Village President and Board of Trustees have determined that a sign exemption is appropriate because of the special unique circumstances presented by the development of the Property, and that granting the Sign Exemption Request as recommended by the Architectural Board of Review will not defeat the fundamental purposes and intent of Section 10-10-1 of the Municipal Code and will not be detrimental to the public welfare or injurious to the property in the vicinity of the Property and

WHEREAS, the Village President and Board of Trustees have determined that it is in the best interests of the Village to approve the Sign Exemption Request in accordance with, and subject to, the provisions of this Resolution;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS, AS FOLLOWS:

Section 1. Recitals.

The foregoing recitals are incorporated herein as findings of the President and Board of Trustees.

Section 2. Approval of Sign Exemption Request.

Pursuant to Section 10-10-19 of the Municipal Code of the Village of Lake Bluff, and subject to and contingent on satisfaction of the conditions set forth in Section 3 of this Resolution, the Village President and Board of Trustees hereby grant approval of the Sign Exemption Request to allow for the erection, installation and maintenance of the Sign as depicted on the Plans.

Section 3. Conditions.

A. Continued Effect. All provisions of the Approval Ordinance remain in full force and effect.

B. Compliance with Plans. Except for minor changes and site work approved by the Village Building Commissioner or Village Engineer in accordance with applicable Village standards, the Sign must be located, constructed, installed, and maintained in substantial compliance with the Plans.

C. Compliance with Applicable Law. In addition to the other specific requirements of this Resolution, the Property and all operations conducted thereon must comply at all times with all applicable federal, state, and Village statutes, ordinances, resolutions, rules, codes, and regulations, including building, electrical, and fire prevention codes.

D. No Construction until Final Approval. Except as otherwise authorized by the Village Administrator, no erection, installation or maintenance of the Sign, will be permitted unless and until this Resolution becomes effective pursuant to Section 5.

E. No Approval of Other Signage. The approval in Section 2 of this Resolution is limited to the approval of the Sign Exemption Request for the Sign as depicted on the Plans, pursuant to the conditions stated herein, and does not authorize or approve any exemptions from the Zoning Regulations for any other signage for the Property or any modification of the Sign as depicted on the Plans.

Section 4. Failure to Comply with Conditions

Upon failure or refusal of the Owner or any of their officers, employees, or agents, to comply with any or all of the conditions, restrictions, or provisions of this Resolution, the approval granted in this Resolution shall, at the sole discretion of the President and Board of Trustees, by resolution duly adopted, be revoked and become null and void.

Section 5. Effective Date.

A. This Resolution will be effective only upon the occurrence of the following events:

- i. passage by the Board of Trustees of the Village of Lake Bluff in the manner required by law; and
- ii. the filing by the Owner with the Village Clerk of an unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in this Resolution in the form attached as **Exhibit B** and, by this reference, made a part of this Resolution.

B. In the event that the Owner does not file with the Village a fully executed copy of the unconditional agreement and consent required under Section 5.A.ii within 60 days after the date of passage of this Resolution, then, at the option of the Village Board of Trustees, this Resolution shall be rendered null and void and of no force or effect.

PASSED this __th day of _____, 20__, by vote of the Board of Trustees of the Village of Lake Bluff, as follows:

AYES: ()

NAYS: ()

ABSTAIN: ()

ABSENT: ()

APPROVED this __ th day of _____, 20__.

Village President

ATTEST:

Village Clerk

EXHIBIT A

PLANS

EXHIBIT B

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The Village of Lake Bluff, Illinois (the "Village"):

WHEREAS, Target Corporation ("**Owner**") operates a Target Department Store on the property it owns located at 975 Rockland Road in the Village, within the Village's L-2 Limited Light Industry District ("**Property**"); and

WHEREAS, the Village's Architectural Board of Review ("**ABR**") has approved a Signage Plan for the Property pursuant to Ordinance 2013-15 ("**Approval Ordinance**"), which authorized the development of the Property as a planned commercial development; and

WHEREAS, pursuant to Subsection 9.L.2 of the Approval Ordinance, the ABR may approve replacement signage for the Property which, upon ABR approval, shall be deemed incorporated into the Signage Plan; and

WHEREAS, the Owner has requested an exemption from Section 10-10-14D10, which prohibits window signs in the L-2 District ("**Sign Exemption Request**"), in order to install a window sign identifying the Starbucks coffee shop located within the Target Store ("**Sign**"), as depicted in the plans prepared by Philadelphia Sign consisting of three pages with a last revision date of June 23, 2015, which plans are attached to and incorporated into this Resolution as Exhibit A ("**Plans**"); and

WHEREAS, pursuant to Section 10-10-15B of the Municipal Code, the Architectural Board of Review considered the Sign Exemption Request at its public meeting on July 7, 2015, on which date the Architectural Board of Review recommended that the Village Board approve the Sign Exemption Request; and

WHEREAS, Resolution No. 2015-__ , adopted by the President and Board of Trustees of the Village on _____ , 20__ , grants approval for the Sign Exemption Request, subject to certain conditions; and

WHEREAS, Resolution No. 2015- __ provides that the Resolution will be of no force or effect unless and until the Applicant and Owner shall have filed with the Village Clerk, within 60 days after passage of the Resolution its unconditional agreement and consent to accept and abide by each of the terms, conditions, and limitations set forth in the Resolution;

NOW THEREFORE, the Owner does hereby agree and covenant as follows:

1. Owner hereby unconditionally agrees to, accept, consent to and abide by all of the terms, conditions, restrictions, and provisions of that certain Resolution No. 2015-__, adopted by the Village Board of Trustees on _____ , 20__ (the "Resolution").
2. Owner acknowledges and agrees that the Village is not and shall not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's issuance of any permits for the use of the Property, and that

the Village's issuance of any such permits does not, and shall not, in any way, be deemed to insure the Owner against damage or injury of any kind and at any time.

3. Owner acknowledges that the public notices and hearings have been properly given and held with respect to the adoption of the Resolution, have considered the possibility of the revocation provided for in the Resolution, and agree not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right.
4. Owner agrees to and hereby holds harmless and indemnifies the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from and against any and all claims that may, at any time, be asserted against any of such parties in connection with the Village's adoption of the Resolution.

ATTEST:

Target Corporation

By: _____

By: _____

Its: _____

Its: _____

SUBSCRIBED and SWORN to
before me this _____ day of
_____, 20__.

Notary Public

**APPLICATION AND SIGN PERMIT
LAKE BLUFF, ILLINOIS**

PERMANENT AND TEMPORARY SIGNS

Applicant:	ERNIE DIFIORE MODERN SIGNS INC
Mailing Address:	1727 ARMITAGE CT ADDISON IL 60101
Telephone:	630-495-1725
Proposed Sign Location:	TARGET 930 CARRIAGE PARK LANE
Permanent or Temporary Sign:	PERMANENT
Type of Sign (window, wall, ground etc.):	WINDOW
Sign Company - Name and Phone:	MODERN SIGNS INC 630-495-1725
Contact Individual Regarding Project:	ERNIE DIFIORE

APPLICATION REQUIREMENTS

Permanent Signs Requiring Approval by the Architectural Board of Review or the Village Board

- A scaled drawing showing the lot and building(s) and structure(s) to which the sign(s) is/are to be attached or erected. The exact position of the sign(s) must be noted on the drawing, including the height of sign above grade, as applicable
- A scaled drawing or plan of the sign(s) showing construction details for the sign(s) including all dimensions including; letter sizes and styles, foundation and/or mounting materials, and sign height and width.
- A concise description of the construction materials and colors of all sign components.
- A detail of type and intensity of any lighting or illumination.
- Thirteen (13) copies are required if the proposal is in color and/or larger than 11x17.

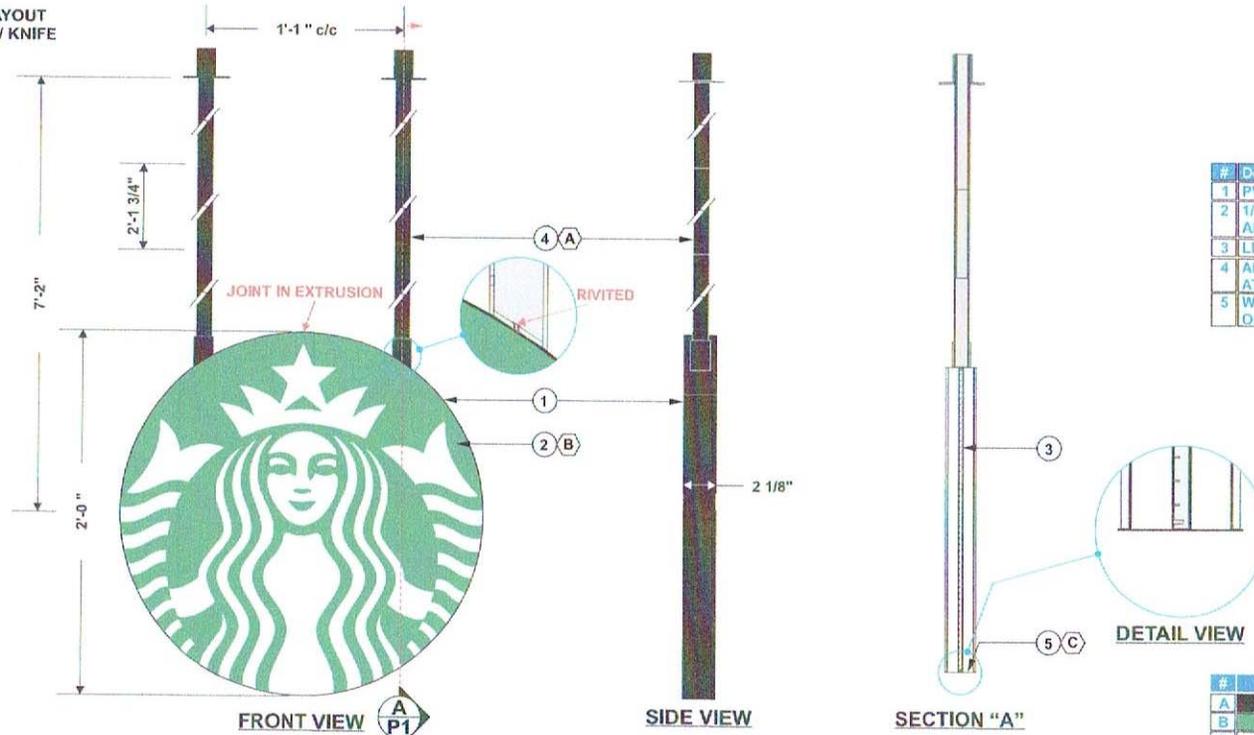
Temporary Signs Requiring Approval by the Village Administrator

- A description of the location of the sign.
- A date when the sign will be erected and when it will be removed.
- A description of the type of sign, the sign materials and the sign size (lighting of temporary signs is prohibited).

NOTICE: Upon receipt of a completed application, including all related drawings and materials, a review date will be provided. The applicant or their designee must attend the review meeting. The Architectural Board of Review generally meets the first Tuesday of each month.

A fee of \$150.00 shall be charged for all permanent sign permit applications. The fee shall be paid at the time of application. Checks should be made payable to the Village of Lake Bluff.

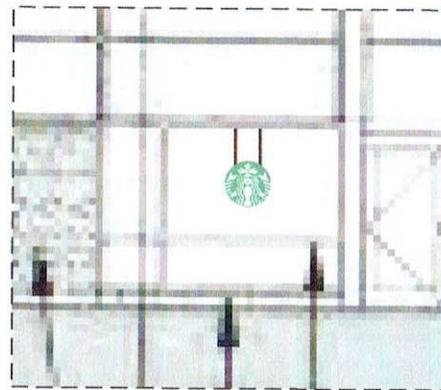
ENGINEERING
SHOP
VINYL / LAYOUT
ROUTING / KNIFE



#	Descriptions:
1	PVC "SNAP-IN" EXTRUSION #48-3608
2	1/8" WHITE #2447 ACRYLIC FACE WITH VINYL APPLIED TO FIRST SURFACE
3	LIGHT PAD #EP5G-24C-1
4	ADJUSTABLE ATTACHMENT E101-11000-001 ATTACHED TO CABINET WITH RIVETS
5	WHITE VINYL APPLIED TO CABINET INTERIOR ON EITHER SIDE OF LIGHT PAD

#	Colors:
A	POWDER COATED N05-E564N4
B	GREEN VINYL 3630-76
C	WHITE VINYL #7725-10

SIGN "K"



STOREFRONT ELEVATION
SCALE: 3/16" = 1' 0"

NOTE: Starbuck Sign Provided By Others.

**PERMITS
ONLY**



PHILADELPHIASIGN
BRINGING THE WORLD'S BRANDS TO LIFE

707 West Spring Garden Street
Palmyra, New Jersey 08065
Phone: 856.829.1460
Fax: 856.829.8549
www.philadelphiasign.com

CUSTOMER:
TARGET

JOB NUMBER:
T2860

SIGN TYPE:
LAKE BLUFF IL

LOCATION:
930 Carriage Park Ave
Lake Bluff, IL

DATE:
11-01-13

DRAWN BY:
JMG

REVISION:
Number Date By
3 06/23/2015 JTR

SHEET: ENG DEPT
12 OF 12

DWG NUMBER:
B51755

ENGINEER SEAL:

MAX DESIGN WIND SPEED 90 MPH
EXPOSURE C

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY PSCD. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY PSCD. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.

Electrical Load
2'-0" Starbucks Logo
0.25 Amps @ 120 Volts
Electrical Req'mts
(1) 20 Amp/120 Volt Circuits

- STANDARD WALL SIGN NOTES:**
- Sufficient Primary Circuit In Vicinity Of Sign By Others.
 - Final Primary Hook-up By Sign Installer, Where Allowed By Local Codes.
 - Sign Shall Be U.L. Listed.
 - Mounting Hardware By Sign Installer.
 - This Sign has been Designed with the Criteria as set forth in the IBC 2012. The Design Meets or Exceeds those Requirements for the Geographical Location in Which it is to be Erected.

Note: This sign is intended to be installed in accordance with the requirements of Article 600 of the 2011 National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



**PERMITS
ONLY**



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Fax: 856.829.8549
www.philadelphiasign.com

CUSTOMER:
TARGET
JOB NUMBER:
T2860

SIGN TYPE:
LAKE BLUFF IL

LOCATION:
**930 Carriage Park Ave
Lake Bluff, IL**

DATE:
11-01-13

DRAWN BY:
JMG

REVISION:
Number: 3 Date: 06/23/2015 By: JTR

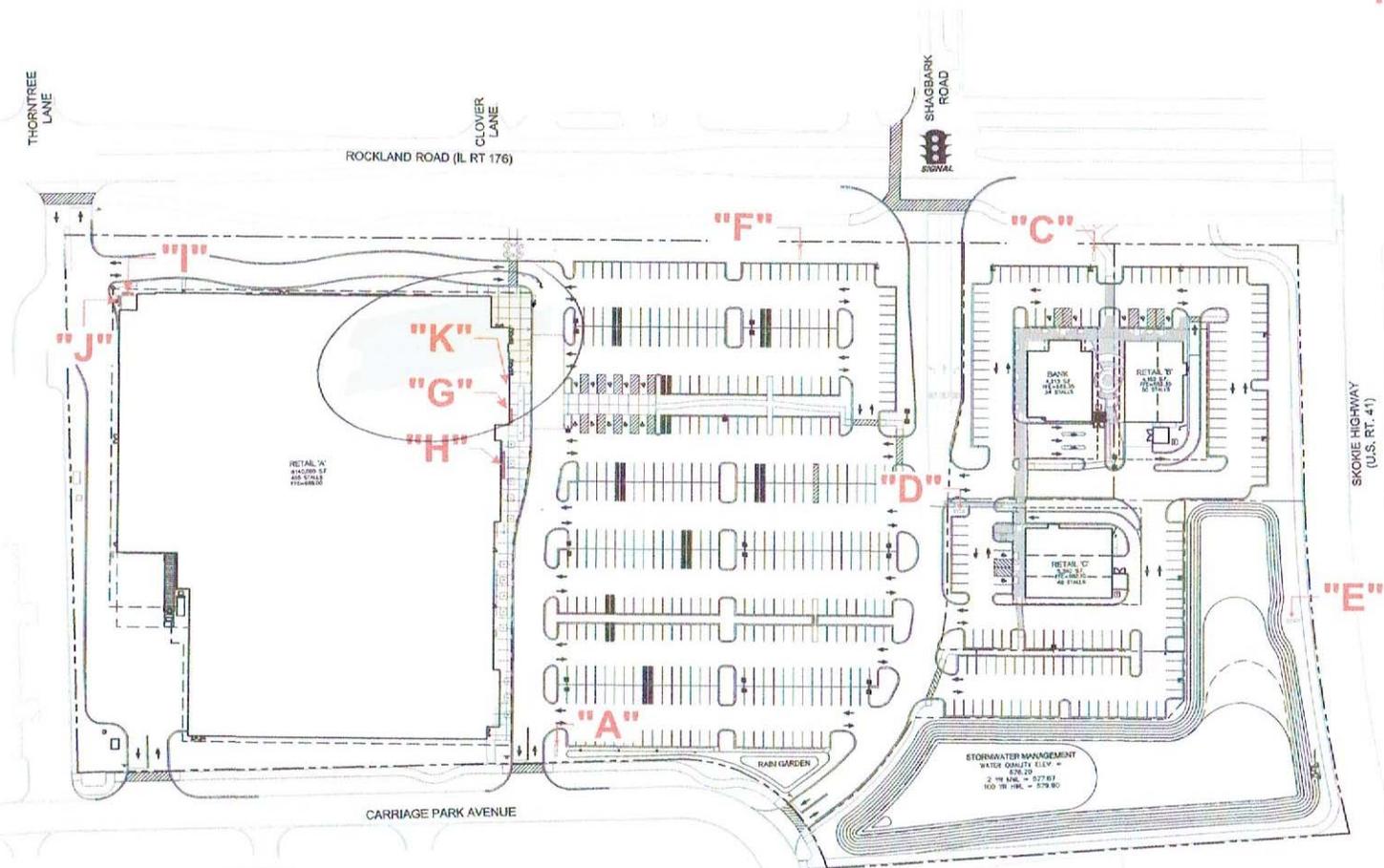
SHEET: 7 OF 12 ENG DEPT

DWG NUMBER:
B51755

ENGINEER SEAL:

**MAX DESIGN WIND SPEED 90 MPH
EXPOSURE C**

THIS IS AN ORIGINAL UNPUBLISHED DRAWING
CREATED BY PSCD. IT IS SUBMITTED FOR YOUR
PERSONAL USE IN CONJUNCTION WITH A PROJECT
BEING PLANNED FOR YOU BY PSCD. IT IS NOT TO
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REPRODUCED, OR EXHIBITED IN ANY FASHION.

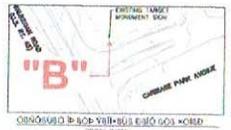


SIGNAGE KEY

- "A"** 4'W x 5'H
TARGET MONUMENT SIGN 1
- "B"** EXISTING
TARGET MONUMENT SIGN
- "C"** 8'W x 6'H
OUTPARCEL MONUMENT SIGN 1
- "D"** 6'W x 6'H
OUTPARCEL MONUMENT SIGN 2
- "E"** 12'W x 24'H
FREESTANDING TARGET / OUTPARCEL
BLADE SIGN WITH TARGET SQUARE
AND 3 TENANT PANELS
- "F"** 11'W x 20'H
FREESTANDING TARGET BLADE
SIGN WITH TARGET SQUARE
AND 6 TENANT PANELS



Note: This sign is intended to be installed in accordance with the requirements of Article 603 of the 2011 National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



ENGINEERING
SHOP
VINYL / LAYOUT
ROUTING / KNIFE

**PERMITS
ONLY**



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Fax: 856.829.8549
www.philadelphiasign.com

CUSTOMER:

TARGET

JOB NUMBER:

T2860

SIGN TYPE:

LAKE BLUFF IL

LOCATION:

**930 Carriage Park Ave
Lake Bluff, IL**

DATE:

11-01-13

DRAWN BY:

JMG

REVISION:

Number:	Date:	By:
3	06/23/2015	JTR

SHEET:

8 OF 12

ENG DEPT

DWG NUMBER:

B51755

ENGINEER SEAL:

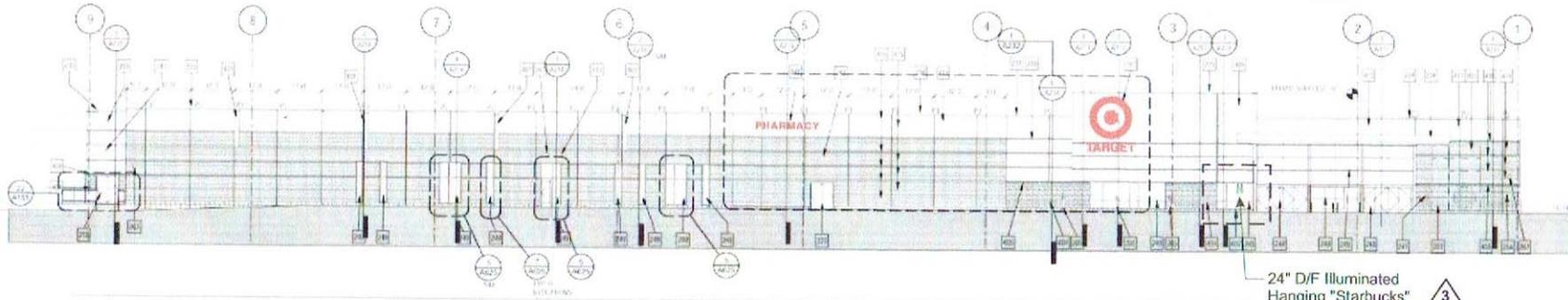
MAX DESIGN WIND SPEED 90 MPH
EXPOSURE C

THIS IS AN ORIGINAL UNPUBLISHED DRAWING
CREATED BY PSCO. IT IS SUBMITTED FOR YOUR
PERSONAL USE IN CONJUNCTION WITH A PROJECT
BEING PLANNED FOR YOU BY PSCO. IT IS NOT TO
BE SHOWN TO ANYONE OUTSIDE YOUR
ORGANIZATION NOR IS IT TO BE USED, COPIED,
REPRODUCED, OR EXHIBITED IN ANY FASHION.

SIGN "H"

SIGN "G"

SIGN "K"



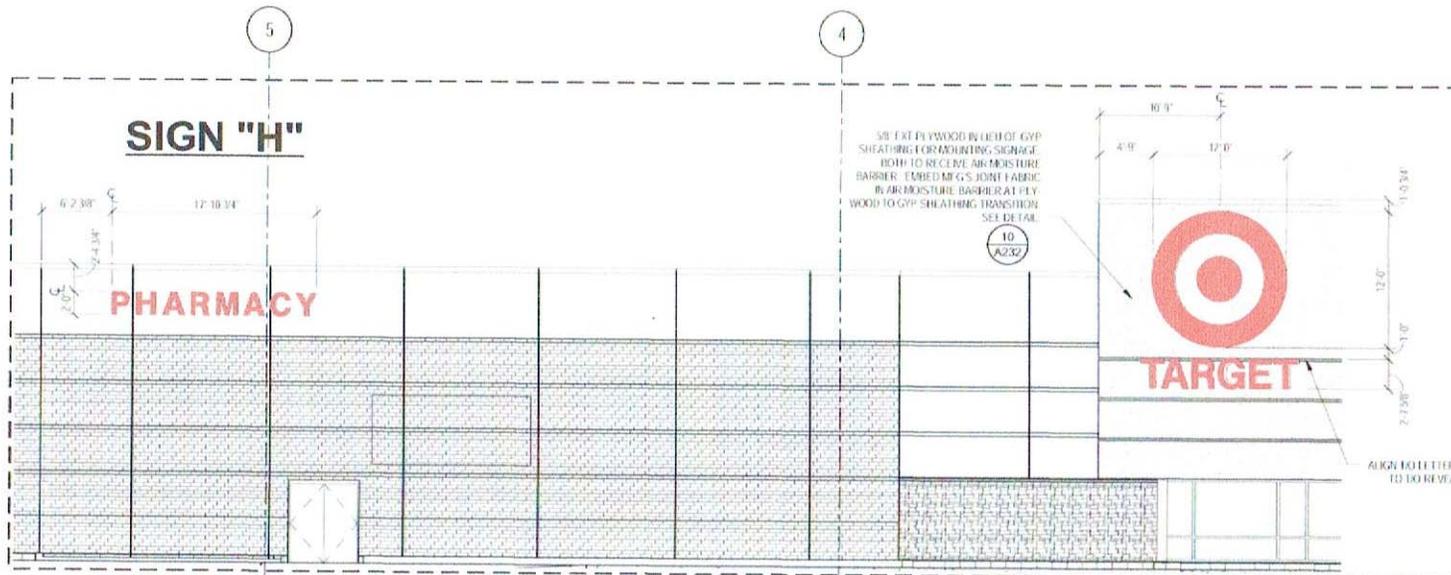
FRONT ELEVATION
SCALE: 1/32" = 1' 0"

DETAIL SEE PAGE 12

24" D/F Illuminated
Hanging "Starbucks"
Sign.



SIGN "H"



EXTERIOR SIGNAGE ELEVATION
SCALE: 3/32" = 1' 0"

SIGN "G"

Note: This sign is intended to be installed in accordance with the requirements of Article 600 of the 2011 National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



VILLAGE OF LAKE BLUFF

Memorandum

TO: Chairman Hunter and Members of the Architectural Board of Review

FROM: Mike Croak, Building Codes Supervisor

DATE: July 2, 2015

SUBJECT: Agenda Item #6 – Consideration of a Sign Permit Application for Starbucks at 975 Rockland Road.

There will be a Starbucks coffee shop inside the Target store. A 2' diameter internally illuminated Starbucks logo has been placed in the window to the left of the main entrance. This sign was not included in the previously approved sign package.

The Sign Code's definition of a window sign includes a sign which is "placed inside a window so as to be visible from the exterior of the building or structure in which the window is located." Window signs are not permitted in the L-1 or L-2 zoning districts; therefore, an exemption from the code is requested.

The following is a chart summarizing the measurements of the proposed signs:

Sign Code (L-1)	Proposed Signage
3) Window signs not permitted in the L-2	Exemption Required

Recommendation:

The ABR has the authority to:

- Recommend the Village Board grant or deny an exemption from the Sign Code regulations for the signage as presented;
- Approve a sign permit (with conditions) that complies with all Code regulations; or
- Deny the sign permit.

The petitioner will be in attendance at Tuesday's meeting to respond to questions from the ABR. If you should have any questions regarding this matter, please feel free to contact me at 847-283-6885.

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 12

Subject: A RESOLUTION APPROVING A SITE PLAN REVIEW FOR
SUNRISE PARK

Action Requested: ADOPTION OF THE RESOLUTION (Roll Call Vote)

Originated By: LAKE BLUFF PARK DISTRICT (Petitioner)

Referred To: ARCHITECTURAL BOARD OF REVIEW

Summary of Background and Reason For Request:

The Lake Bluff Park District (Petitioner) proposes to replace two staircases in Sunrise Park, widen the landing in front of the north shelter, and add a sloping walkway from the shelter to the beach. These improvements will bring the structures into compliance with the Building Code and the Americans with Disabilities Act.

The Architectural Board of Review (“ABR”) reviewed the proposed changes at its July 7, 2015 meeting. The ABR recommended that the Village Board approve the proposed alterations, but the ABR also asked the Park District to consider having open risers on the stairs and to consider using wood that is not treated with a preservative. In the attached response letter, Ron Salski, Executive Director of the Park District, agreed to use open risers on the stairs, but notes that, upon further research, the Park District has concluded that wood that is not preservative treated will have too short of a lifespan for this project.

Currently, Sunrise Park and other Lake Bluff parks are neither a permitted use according to the Zoning Ordinance nor part of a Special Use Permit. Village staff have discussed this with the Park District and understand that the Park District intends to apply for a Special use Permit for both Sunrise Park and Artesian Park in conjunction with future improvements at Artesian Park.

In preparation for the Village Board’s consideration of the request, the neighboring property owners have been notified of the meeting date and a resolution has been prepared transmitting the ABR’s recommendation.

Ron Salski, Executive Director of the Park District, as well as Village Staff, will be in attendance at the meeting to answer questions from the Board.

Reports and Documents Attached:

1. A letter from Lake Bluff Park District Executive Director Ron Salski;
2. A copy of a Resolution Approving Alterations for Sunrise Park;
3. Drawings of the Proposed Alterations; and
4. A copy of the July 7, 2015 ABR Staff Report (without Attachments).

ABR’s Recommendation: Adoption of the Resolution.

Village Administrator’s Recommendation: Adoption of the Resolution.

Date Referred to Village Board: 7/27/2015



LAKE BLUFF PARK DISTRICT

355 W. WASHINGTON AVENUE * LAKE BLUFF, ILLINOIS 60044

Phone (847) 234-4150

July 13, 2015

Chairman Bob Hunter
Village of Lake Bluff
Architecture Board of Review
40 E. Center Avenue
Lake Bluff, IL 60044

Dear Chairman Bob Hunter:

The Park District would like to thank the Architecture Board of Review for approving our application on July 7, 2015 for the replacement of two stairways at Sunrise Park and Beach and improvements to the concrete walkway in front of the North Shelter. Per the review, there were two outstanding questions related to the project and the Park District and Architect responses:

1. COMMENT: Is there any data on how long non-treated wood will last versus the pressure treated? There are concerns about the chemicals in pressure treated wood and the safety of their citizens.

The use of harsh chemicals in pressure treated wood has changed drastically in recent years. Prior to 2004 the typical preservative for treated lumber was CCA (Chromium Copper Arsenate). However, this type of preservative was banned by the EPA for most consumer uses. Today, alternative preservatives to CCA eliminate the use of harmful and carcinogenic chemicals such as arsenic and chromium. The use of pressure treated lumber has several benefits over the use of cedar or other natural woods.

- The pressure treated wood is typically pine which is much more abundant and economical than a cedar. Cedar is typically 25-35% percent higher in cost or potentially \$60,000 added to the overall cost.
- The durability between pressure treated and cedar also varies. Pressure treated wood will last 30-40 years where as cedar life expectancy is around 10 years. In addition to the longevity, cedar will require additional maintenance.

It is our recommendation to continue with the pressure treated lumber due to cost and durability.

2. COMMENT: Can the stairs have open risers for a more natural look?

The use of open risers is an acceptable option for the bluff stairs. The proposed stair risers are 5 1/2". Eliminating the riser will create an opening of 4", which is also the maximum opening per the building code. However, nominal lumber is not always a full 1 1/2" thick which will require small 1/2" strip to reduce the riser opening height.

If you have any questions, please contact me.

Sincerely,

A handwritten signature in cursive script that reads "Ron Salski".

Ron Salski
Executive Director

cc: Rob Douglass, Board President
FGM Architects
Scott Larson, W.B.O. Olson

RESOLUTION NO. 2015-____

**A RESOLUTION APPROVING A SITE PLAN
FOR THE RENOVATION OF CERTAIN IMPROVEMENTS**

(Lake Bluff Park District - Sunrise Park)

WHEREAS, the Lake Bluff Park District ("**Applicant**") operates and maintains the existing park area and facilities commonly known as Sunrise Park, generally located east of Sunrise Avenue within the Village's R-3 Residence District ("**Property**"); and

WHEREAS, the Applicant has requested approval of building permits and a related site plan for the renovation of certain existing improvements on the Property in order to comply with building code and accessibility requirements, including the replacement of two stairways and improvements to an existing concrete walkway ("**Improvements**"); and

WHEREAS, the Applicant operates the Property and Artesian Park as public parks as existing nonconforming uses under the Village's Zoning Regulations, and the Applicant has represented to the Village that, upon completion of the Improvements, the Applicant will file appropriate zoning applications and complete the public hearing process to obtain approval of special use permits for the operation of the Property and Artesian Park as public parks; and

WHEREAS, the Improvements are depicted on the plans prepared by the Applicant and FGM Architects, consisting of 10 pages with a last revision date of June 22, 2015, attached to this Resolution as Exhibit A ("**Site Plan**"); and

WHEREAS, pursuant to Section 10-2-8B of the Zoning Regulations, the Village of Lake Bluff Architectural Board of Review considered and reviewed the Site Plan at a public hearing on July 7, 2015; and

WHEREAS, pursuant to Section 10-1-9 of the Zoning Regulations, the Village President and Board of Trustees have determined that it would be in the best interest of the Village to approve the Site Plan as set forth in the attached **Exhibit A** and in accordance with, and subject to, the conditions, restrictions, and provisions of this Resolution and the Zoning Regulations;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS, as follows:

Section 1. Recitals.

The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the Village Board.

Section 2. Public Hearing.

A public hearing to consider the Applicant's request for approval of the Site Plan was duly noticed pursuant to Section 10-2-8B of the Village's Zoning Regulations and held by the Architectural Board of Review on July 7, 2015, on which date the Architectural Board of Review recommended that the Village Board approve the Site Plan.

Section 3. Approval of the Site Plan.

In accordance with the standards and procedures in Section 10-2-8D of the Zoning Regulations, and subject to and contingent upon the conditions in Section 4 of this Resolution, the Site Plan prepared by the Applicant and FGM Architects, consisting of 10 pages with a last revision date of June 22, 2015, all of which are attached to and incorporated into this Resolution as ***Exhibit A***, is approved pursuant to Subsection 10-2-8C of the Zoning Regulations and the home rule powers of the Village.

Section 4. Conditions.

The approval granted in Section 3 of this Resolution is subject to and contingent upon each of the following conditions, restrictions, and provisions:

A. **Compliance with the Site Plan.** Except for minor changes and site work approved by the Village Building Commissioner or Village Engineer in accordance with applicable Village standards, the installation, use, and maintenance of the Improvements on the Property must be in substantial compliance with the Site Plan.

B. **Compliance with Applicable Law.** In addition to the other specific requirements of this Resolution, the Property must comply at all times with all applicable federal, state, and Village statutes, ordinances, resolutions, rules, codes, and regulations, including without limitation the Village's building, electrical, and fire prevention codes.

C. **Application for Special Use Permit; Further Site Plan Approvals.** The Applicant acknowledges and agrees that the Applicant will prepare and submit to the Village an application for approval of a special use permit for the operation of the Property as a public park, and that no further applications for site plan approval will be considered by the Village for the Property unless and until the Applicant completes the public hearing process and a special use permit is issued for the Property. The Applicant further acknowledges and agrees that the Applicant will complete the public hearing process to obtain a special use permit application for the operation of Artesian Park.

Section 5. Effect of Approval.

Pursuant to Section 10-2-8E of the Lake Bluff Zoning Regulations, the approval granted pursuant to Section 3 of this Resolution shall not authorize the establishment or extension of any use, nor the development, construction, reconstruction, alteration, or moving of any buildings or structures, but shall merely authorize the preparation, filing, and processing of applications for any permits or approvals that may be required by the codes and ordinances of the Village, including, without limitation, building permits.

Section 6. Amendments.

Any amendments to the Site Plan approved in Section 3 of this Resolution may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Regulations.

Section 7. Effective Date.

This Resolution will be effective only upon passage by the President and Board of Trustees in the manner required by law.

PASSED this ___ day of _____, 2015, by vote of the Board of Trustees of the Village of Lake Bluff, as follows:

AYES: ()

NAYS: ()

ABSTAIN: ()

ABSENT: ()

APPROVED this ___ day of _____, 2015.

Village President

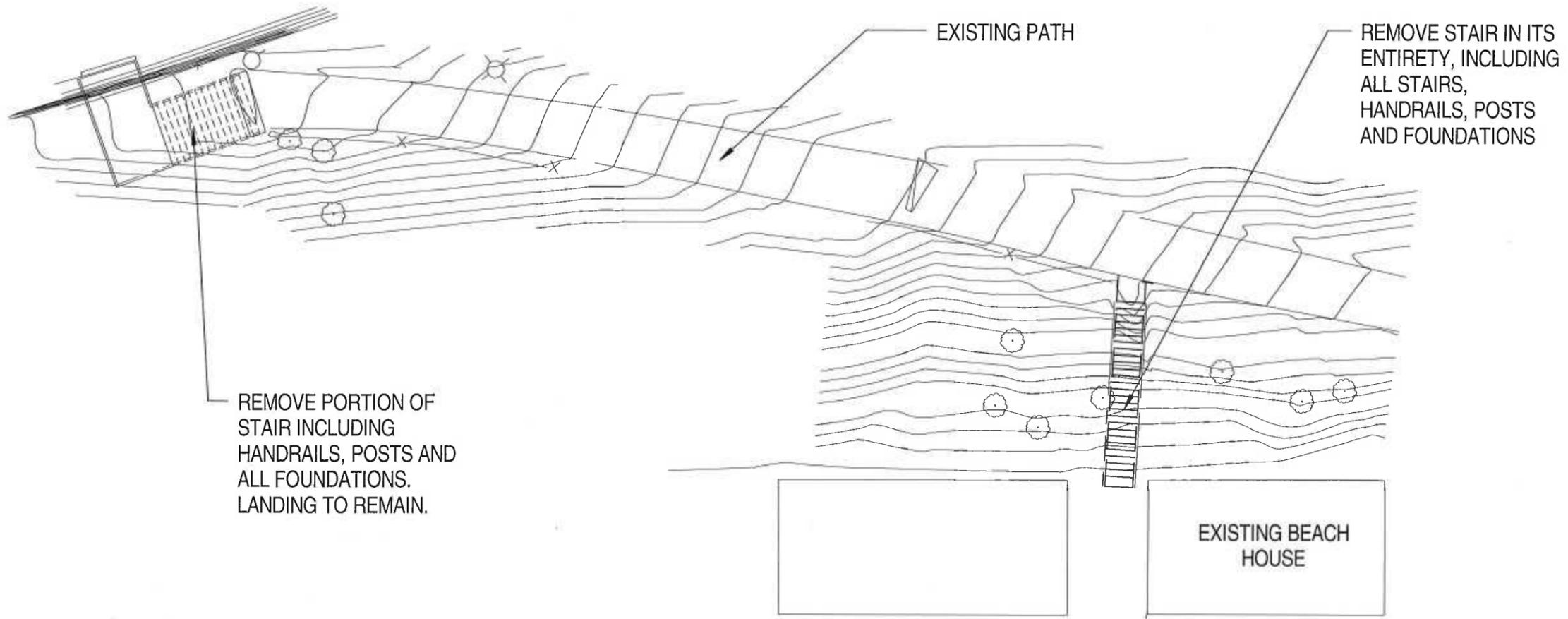
ATTEST:

Village Clerk

#36551544_v1

Exhibit A

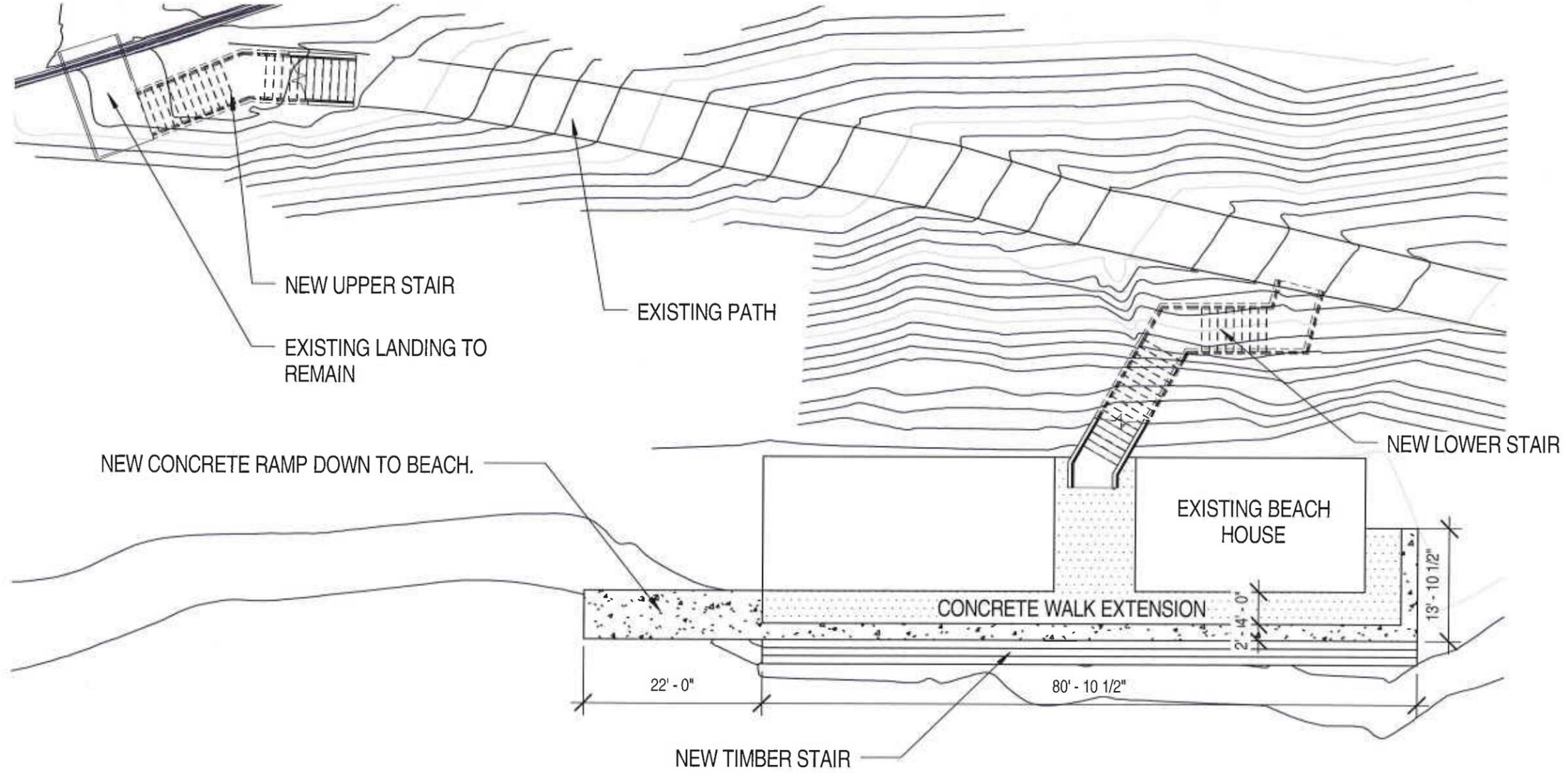
Site Plan



1 EXISTING STAIR PLAN

1/16" = 1'-0"

PROJECT	LAKE BLUFF AND SUNRISE BEACH RENOVATIONS		TITLE		EXISTING SUNRISE BEACH STAIR PLAN	
	FGM ARCHITECTS CHICAGO OAK BROOK OF FALLON		DRAWN DP	DATE 06/22/15	SHEET NO. A-1	ISSUED AS ZONING
PROFESSIONAL DESIGN FIRM - IL # 184-000350		APPROVED DP	JOB NO. 15-1966.01			

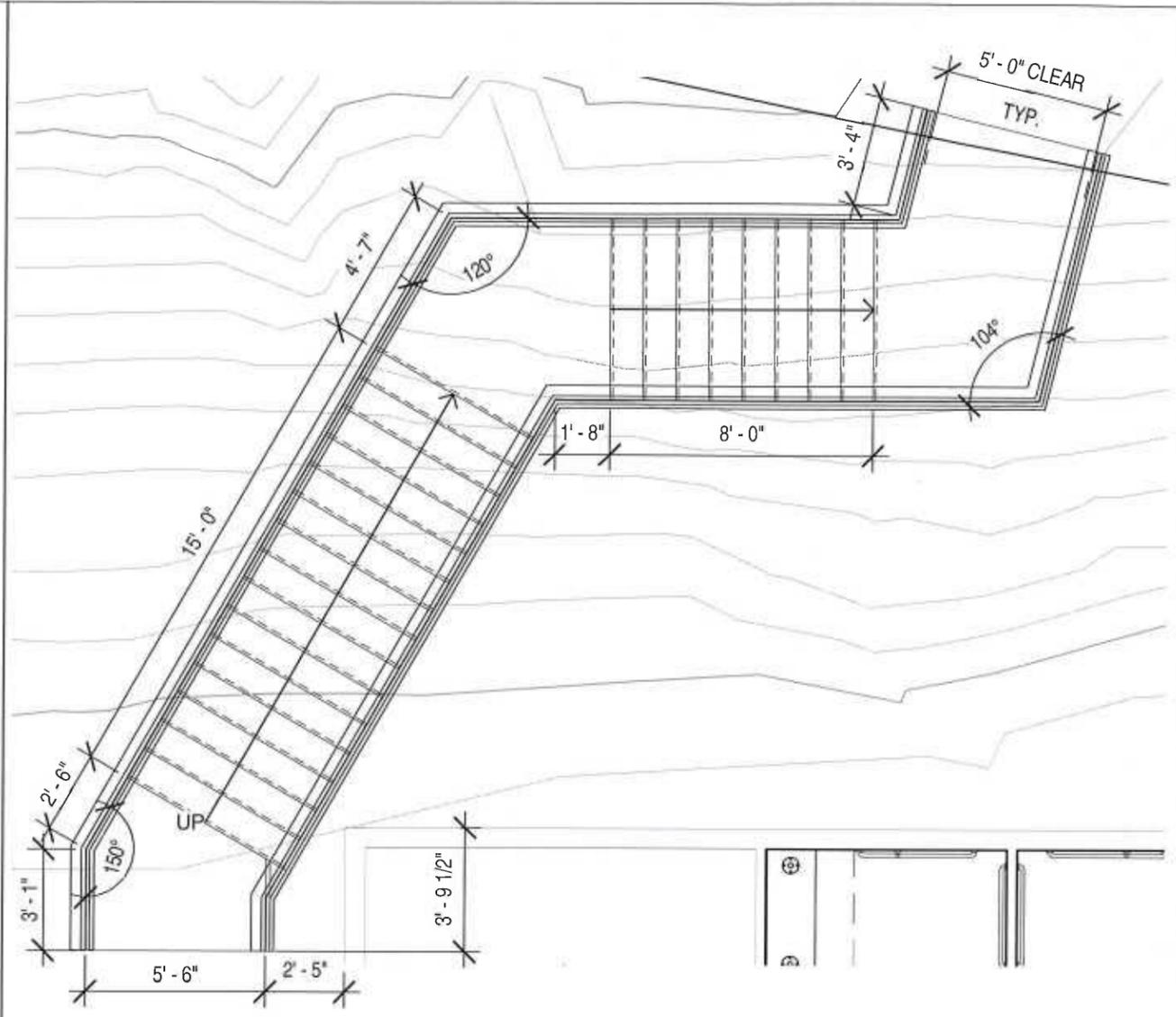
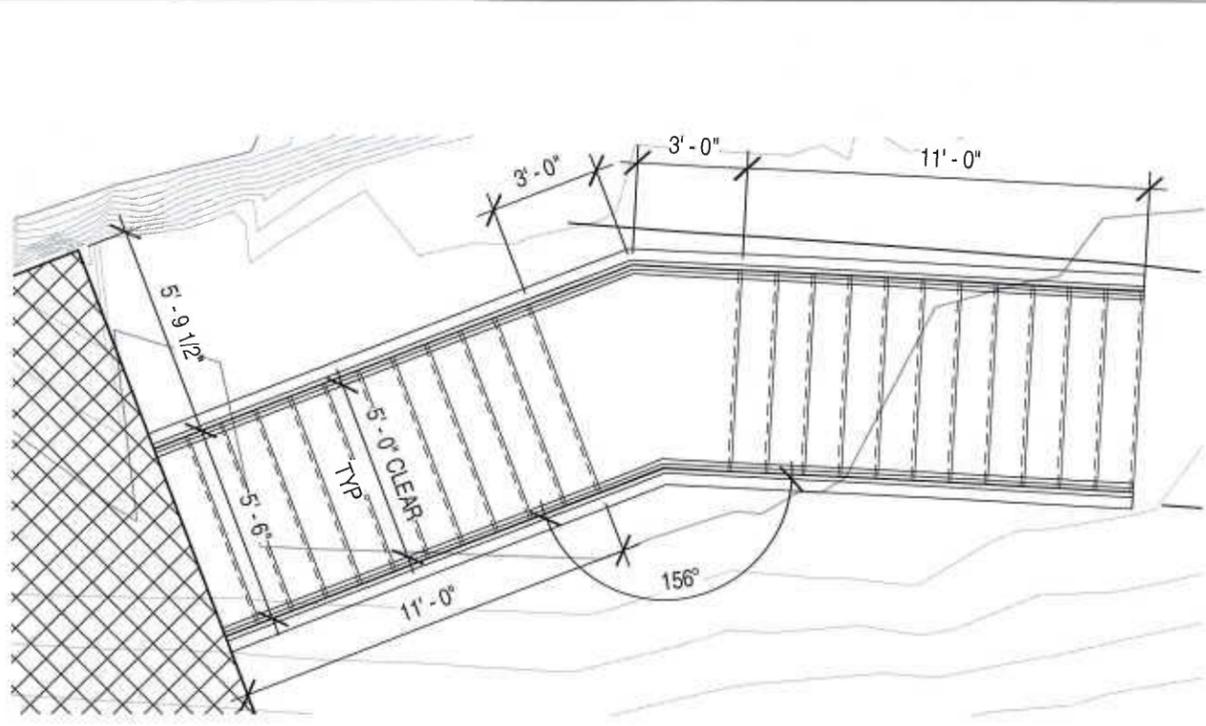


1

PROPOSED STAIR PLAN

1/16" = 1'-0"

PROJECT	LAKE BLUFF AND SUNRISE BEACH RENOVATIONS		TITLE PROPOSED SUNRISE BEACH STAIR PLAN	
	FGM ARCHITECTS CHICAGO OAK BROOK OF FALLON		DRAWN DP	DATE 06/22/15
PROFESSIONAL DESIGN FIRM - IL # 184-000350		APPROVED DP	JOB NO. 15-1966.01	SHEET NO. A-2
				ISSUED AS ZONING



1

UPPER STAIR PLAN

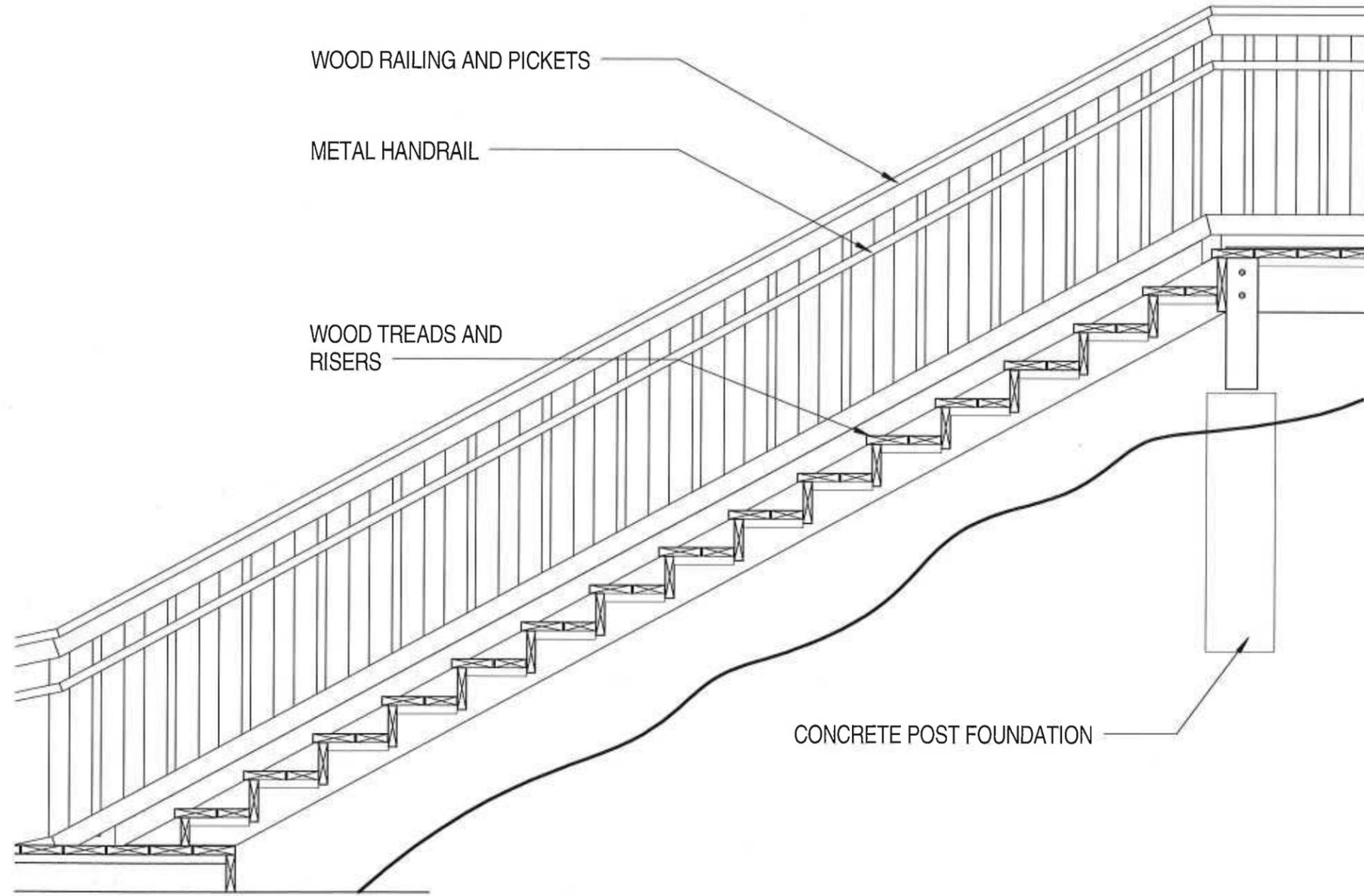
1:60

2

LOWER STAIR PLAN

1:60

PROJECT	LAKE BLUFF AND SUNRISE BEACH RENOVATIONS		
	FGM ARCHITECTS CHICAGO OAK BROOK OF FALLON		
TITLE	PROPOSED STAIR DIMENSIONS		
DRAWN	DP	DATE	06/22/15
APPROVED	DP	JOB NO.	15-1966.01
SHEET NO.		A-3	
ISSUED AS		ZONING	
PROFESSIONAL DESIGN FIRM - IL # 184-000350			



1

TYPICAL ELEVATION

1/2" = 1'-0"

PROJECT	LAKE BLUFF AND SUNRISE BEACH RENOVATIONS		TITLE PROPOSED STAIR ELEVATION	
	FGM ARCHITECTS <small>CHICAGO OAK BROOK OF FALLON</small>		DRAWN DP	DATE 06/22/15
PROFESSIONAL DESIGN FIRM - IL # 184-000350		APPROVED DP	JOB NO. 15-1966.01	SHEET NO. A-4 ISSUED AS ZONING



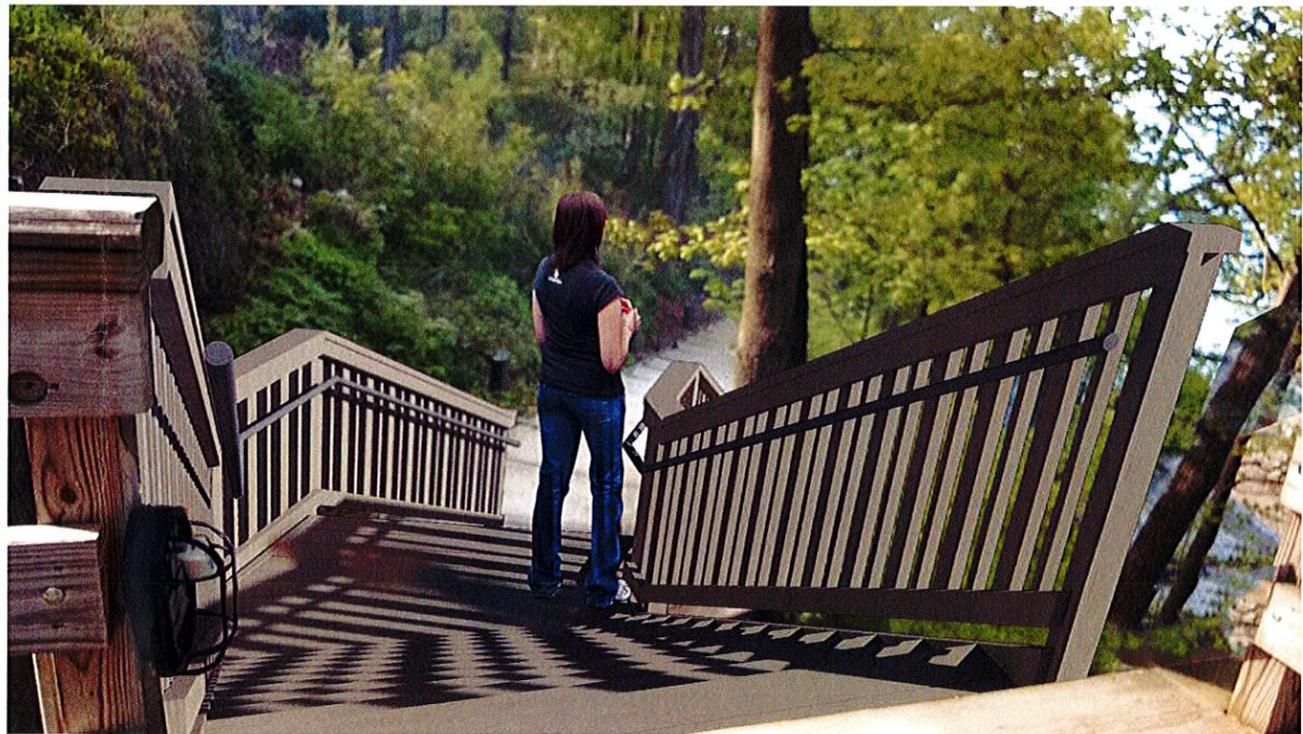
LOWER STAIR DOWN TO BEACH HOUSE



LOWER STAIR FROM BEACH HOUSE



LOWER STAIR DOWN TO BEACH HOUSE



UPPER STAIR DOWN TO PATH

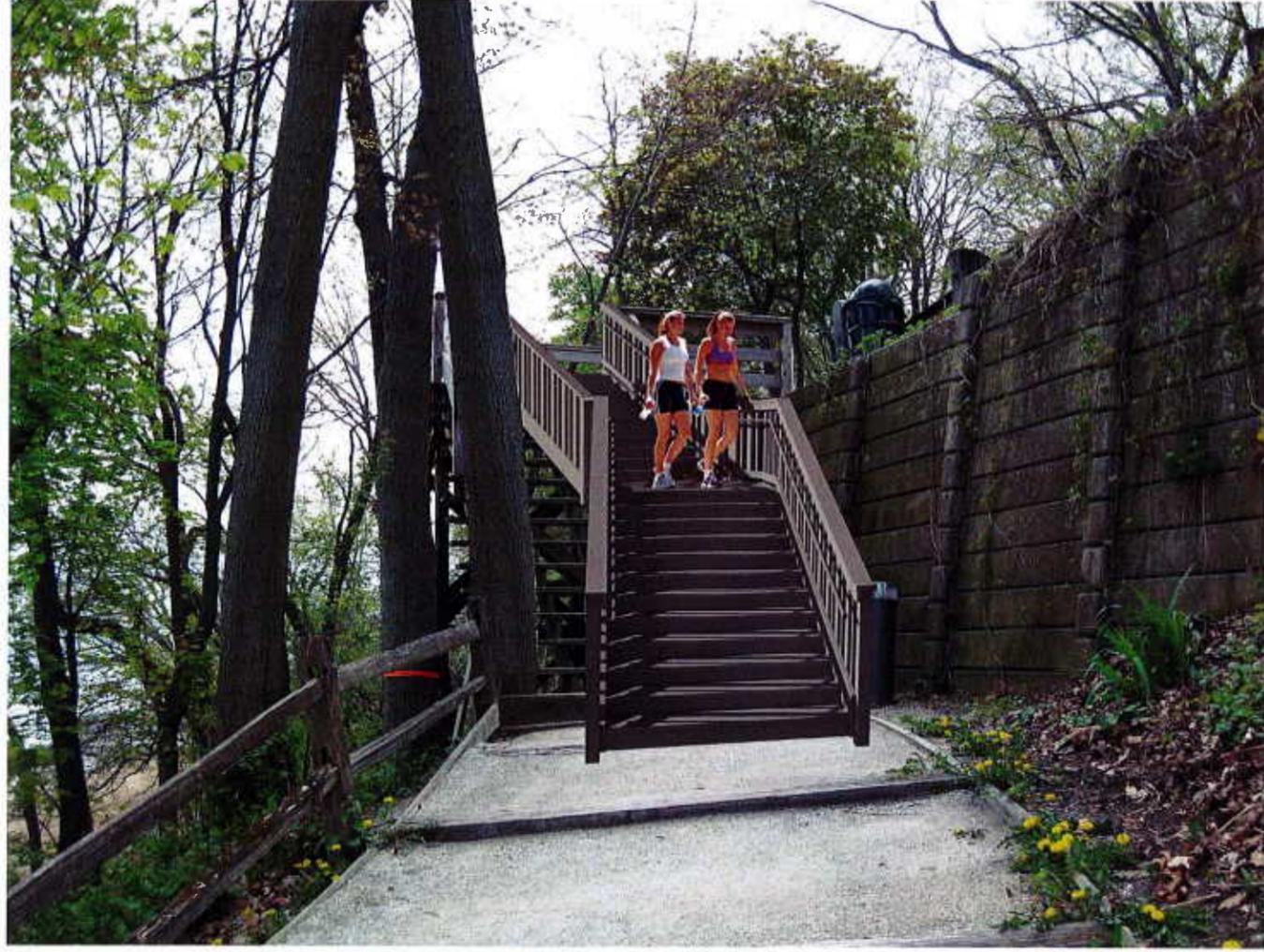
TITLE **PROPOSED STAIR RENDERINGS**

DRAWN DP	DATE 06/22/15	SHEET NO. A-5
APPROVED DP	JOB NO. 15-1966.01	ISSUED AS ZONING

PROJECT
**LAKE BLUFF AND SUNRISE
BEACH RENOVATIONS**

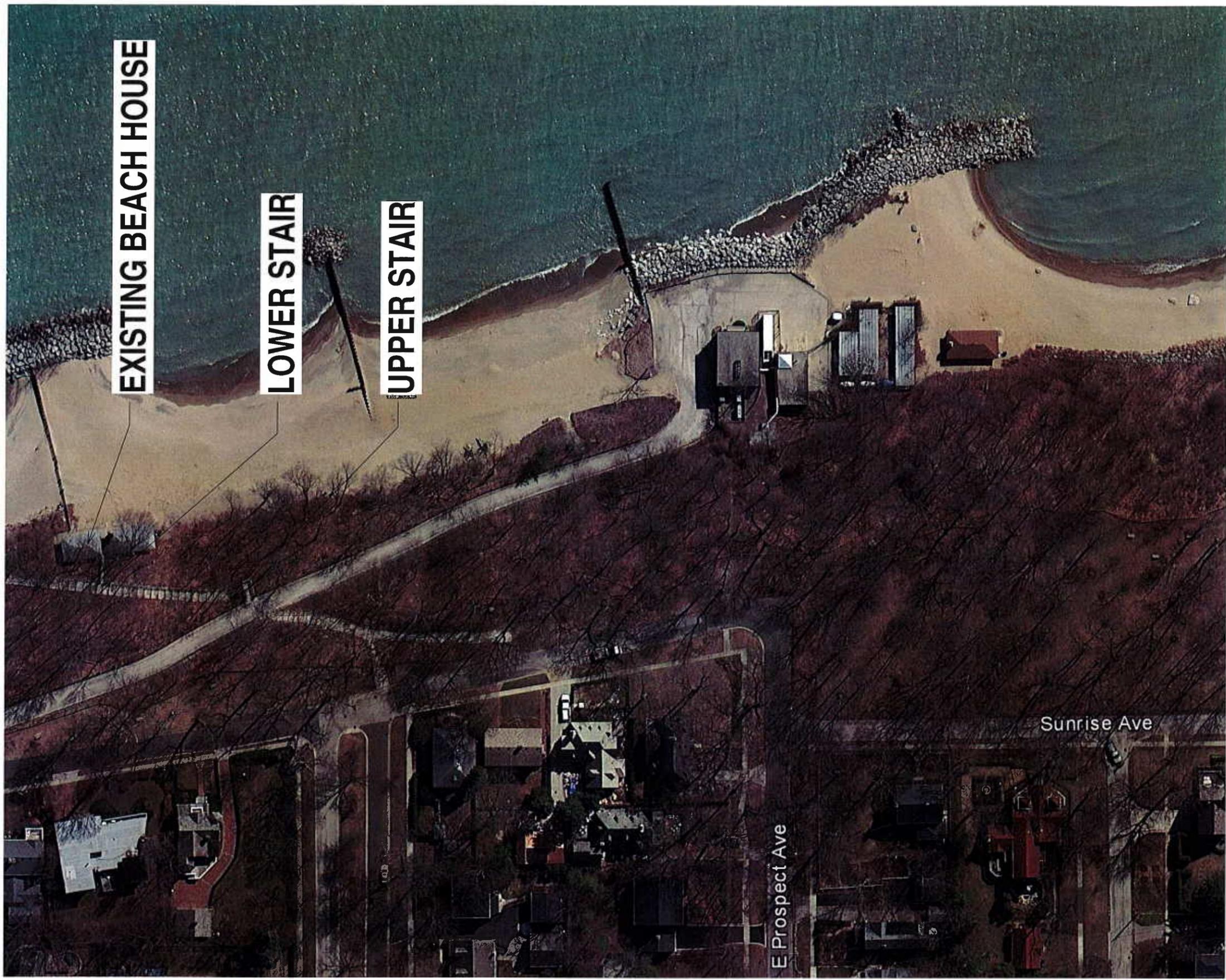
FGM ARCHITECTS
CHICAGO OAK BROOK OF FALLOON

PROFESSIONAL DESIGN FIRM - IL # 184-000350



UPPER STAIR TO ENTRANCE DRIVE

PROJECT	LAKE BLUFF AND SUNRISE BEACH RENOVATIONS		TITLE PROPOSED STAIR RENDERINGS	
	FGM ARCHITECTS <small>CHICAGO OAK BROOK OF FALLOON</small>		DRAWN DP	DATE 06/22/15
PROFESSIONAL DESIGN FIRM - IL # 184-000350		APPROVED DP	JOB NO. 15-1966.01	SHEET NO. A-6
			ISSUED AS ZONING	



1

AERIAL

1" = 50'-0"

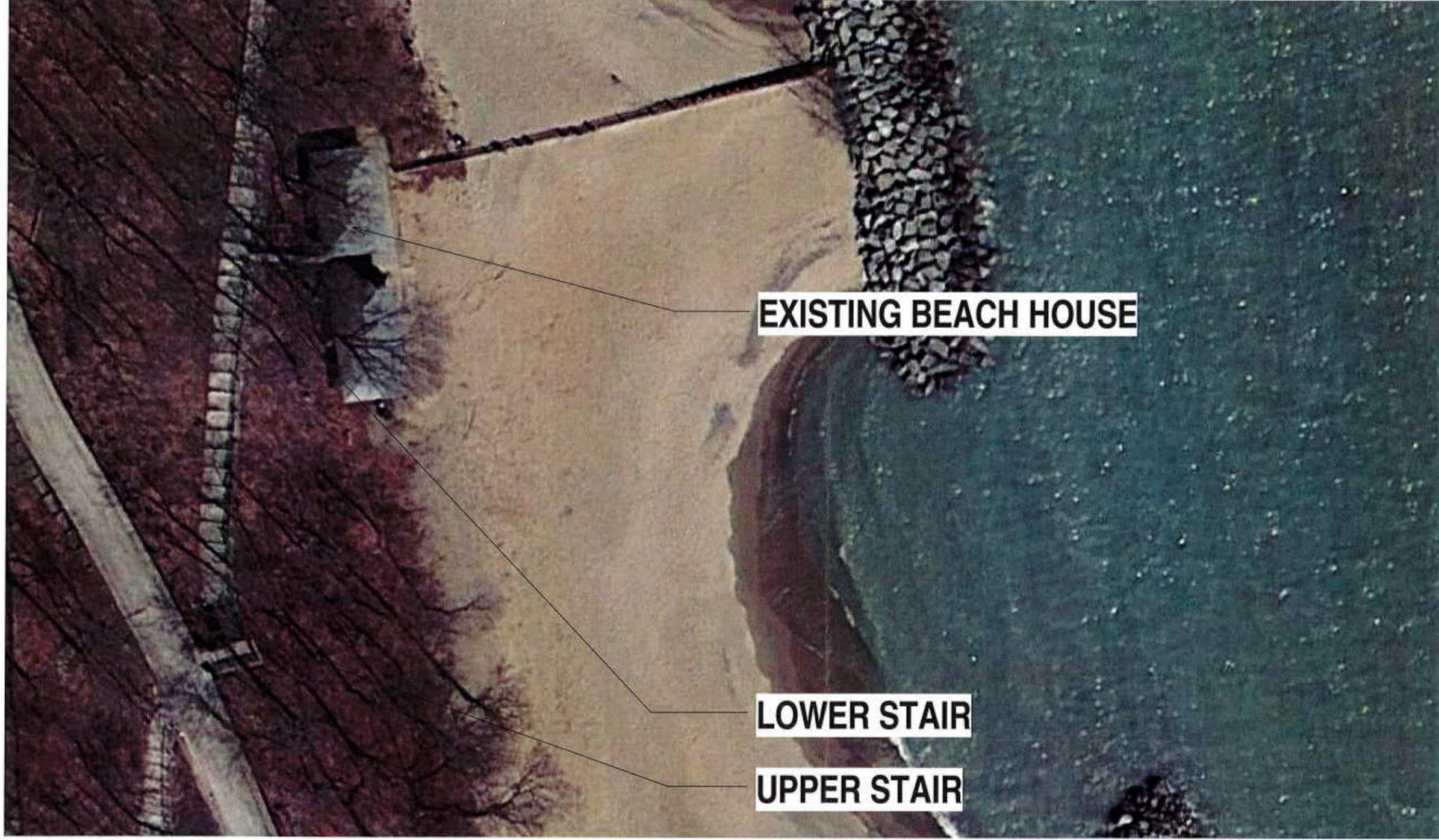
PROJECT		LAKE BLUFF AND SUNRISE BEACH RENOVATIONS		TITLE		AERIAL	
FGM ARCHITECTS CHICAGO OAK BROOK		DATE		DRAWN		SHEET NO.	
PROFESSIONAL DESIGN FIRM - IL # 184-000350		06/22/15		DP		A-7	
		JOB NO.		APPROVED		ISSUED AS	
		15-1966.01		DP		ZONING	



1

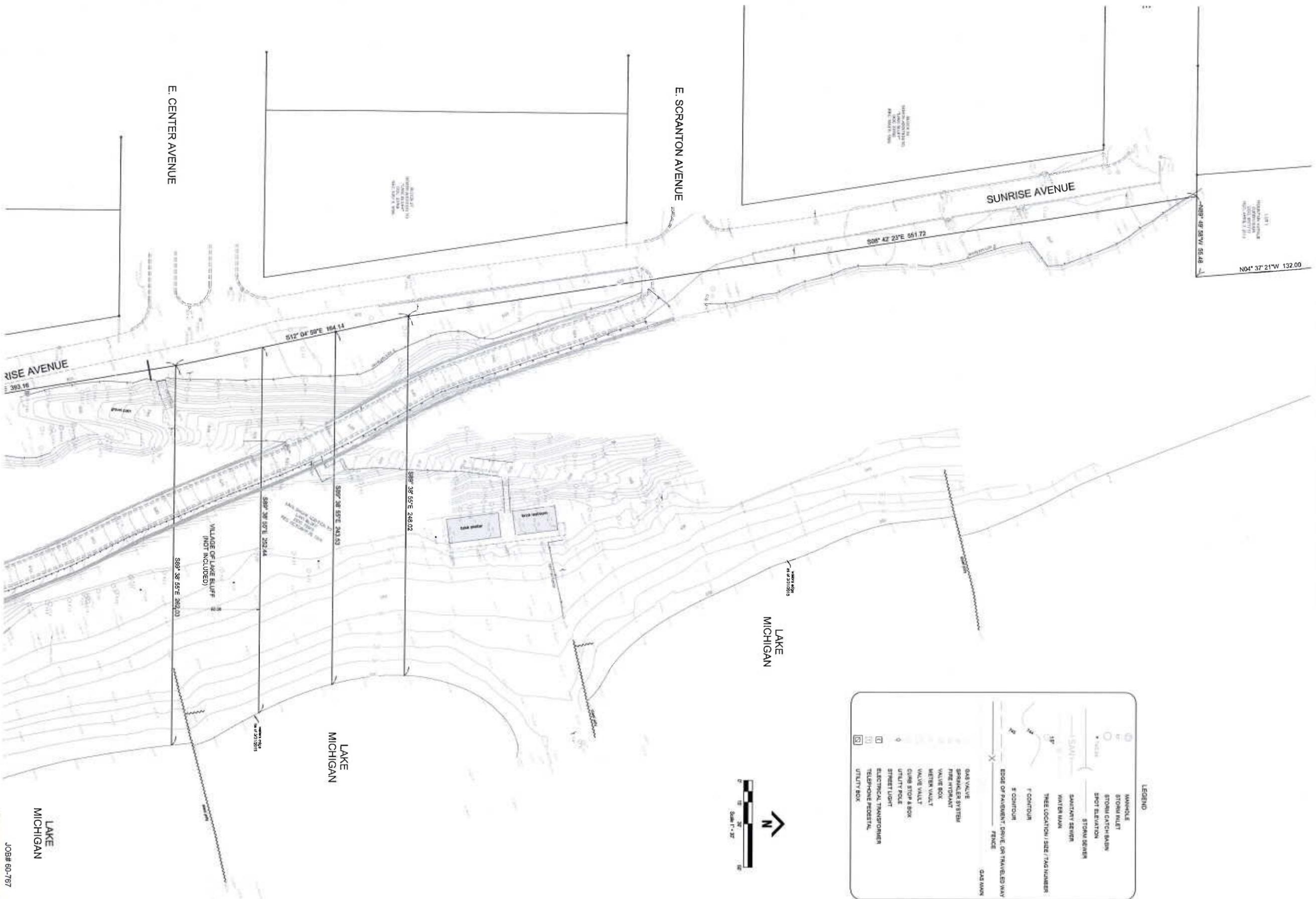
AERIAL

1" = 20'-0"



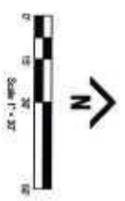
PROJECT	LAKE BLUFF AND SUNRISE BEACH RENOVATIONS		TITLE AERIAL		SHEET NO. A-8
	FGM ARCHITECTS <small>CHICAGO</small> <small>OAK BROOK</small> <small>OF FALLON</small>		DRAWN DP	DATE 06/22/15	ISSUED AS ZONING
PROFESSIONAL DESIGN FIRM - IL # 184-000350		APPROVED DP	JOB NO. 15-1966.01		

SUNRISE BEACH LAKE BLUFF, ILLINOIS



LEGEND

	MANHOLE
	STORM INLET
	STORM CATCH BASIN
	SPOT ELEVATION
	STORM SENSOR
	SAFETY SENSOR
	WATER MAIN
	TREE LOCATION / SIZE / TAG NUMBERS
	1' CONTOUR
	5' CONTOUR
	EDGE OF PAVEMENT / DRIVE, OR TRAVELED WAY
	FENCE
	GAS MAIN
	GAS VALVE
	SPRINKLER SYSTEM
	FIRE HYDRANT
	VALVE BOX
	METER VAULT
	VALVE VAULT
	CURB STOP & BOX
	UTILITY POLE
	STREET LIGHT
	ELECTRICAL TRANSFORMER
	TELEPHONE PEDESTAL
	UTILITY BOX

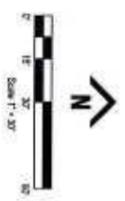


SUNRISE BEACH LAKE BLUFF, ILLINOIS



LEGEND

	MANHOLE
	STORM INLET
	STORM CATCH BASIN
	SPOT ELEVATION
	SANITARY SEWER
	WATER MAIN
	TREE LOCATION / SIZE / TAG NUMBER
	1' CONTOUR
	2' CONTOUR
	EDGE OF PAVEMENT DRIVE, ON TRAVELLED WAY
	FENCE
	GAS MAIN
	GAS VALVE
	SPRINKLER SYSTEM
	FIRE HYDRANT
	VALVE BOX
	METER VAULT
	WATER VAULT
	CURB STOP & BOX
	UTILITY POLE
	STREET LIGHT
	ELECTRICAL TRANSFORMER
	TELEPHONE PEGESTAL
	UTILITY BOX



VILLAGE OF LAKE BLUFF

Memorandum

TO: Chairman Hunter and Members of the Architectural Board of Review

FROM: Mike Croak, Building Codes Supervisor

DATE: July 2, 2015

SUBJECT: **Agenda Item #4 – A Public Hearing to Consider a Site Plan to Review Changes to the Stairs, Landings, and Ramp at Sunrise Park**

On June 23, 2015, the Lake Bluff Park District submitted an application for Architectural Review for Sunrise Park. They are proposing to replace two staircases, widen the landing in front of the north shelter, and add a ramp down to the beach. The proposed improvements will bring these structures into compliance with the Building Code and the Americans with Disabilities Act.

Currently, Sunrise Park and other Lake Bluff Parks are neither a permitted use according to the Zoning Ordinance nor part of a Special Use Permit. The Park District intends to rectify this by applying for a Special Use Permit for Sunrise Park and Artesian Park in conjunction with future improvements at Artesian Park.

Recommendation:

It is recommended the ABR conduct a public hearing to consider the modifications to the site plan, appropriately question the Petitioner as needed, entertain public comments and questions from the petitioner and make one of the following recommendations regarding the site plan:

- Recommend that the Village Board approve the proposed site plan as presented or with conditions;
- Recommend that the Village Board deny the proposed site plan; or
- Request the petitioner to provide additional information for the ABR's consideration.

Ron Salski, Executive Director of the Park District, will be in attendance at Tuesday's meeting to respond to questions from the ABR. If you should have any questions regarding this matter, please feel free to contact me at 847-283-6885.

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 13

Subject: A RESOLUTION APPROVING AN AMENDMENT TO AN EXISTING SITE PLAN (28 EAST CENTER AVENUE – INOVASI RESTAURANT)

Action Requested: ADOPTION OF THE RESOLUTION (Roll Call Vote)

Originated By: RON OESTERLEIN OF CENTER AVENUE PARTNERS (Petitioner)

Referred To: ARCHITECTURAL BOARD OF REVIEW

Summary of Background and Reason For Request:

Center Avenue Partners, owner of the building at the southeast corner of Center Avenue and Scranton Avenue, propose to relocate the front door of Inovasi Restaurant further east; this improvement will allow them to construct an internal vestibule, eliminating the need for a temporary external vestibule in the winter, and improving interior pedestrian traffic flow.

The Architectural Board of Review (“ABR”) reviewed the proposed building change at its July 7, 2015 meeting. The ABR recommended that the Village Board approve the building alteration.

In preparation for the Village Board’s consideration of the request, the neighboring property owners have been notified of the meeting date and a resolution has been prepared transmitting the ABR’s recommendation.

Ron Oesterlein, of Center Avenue Partners, as well as Village Staff, will be in attendance at the meeting to answer questions from the Board.

Reports and Documents Attached:

1. A copy of a Resolution Approving Building Alterations for Inovasi Restaurant;
2. Drawings of the Proposed Building Alteration; and
3. A copy of the July 7, 2015 ABR Staff Report (without Attachments).

ABR’s Recommendation: Adoption of the Resolution.

Village Administrator’s Recommendation: Adoption of the Resolution.

Date Referred to Village Board: 7/27/2015

RESOLUTION NO. 2015-

A RESOLUTION APPROVING AND AMENDMENT TO AN EXISTING SITE PLAN

(28 East Center Avenue – Inovasi Restaurant)

WHEREAS, Center Avenue Partners, LLC ("**Applicant**"), is the owner of the properties located at 33-35 East Scranton, 37-43 East Scranton, and 26-38 East Center, all located within the Village's "CBD" Central Business District (collectively, the "**Subject Property**"); and

WHEREAS, pursuant to Ordinance 2003-12, as amended ("**Approval Ordinance**"), the Village granted various approvals for the Subject Property and the adjacent property owned by the Doris and John Lawrence Trust located at 103-113 East Scranton, including special use permits, parking variations, site plans, and elevations; and

WHEREAS, the site plans approved pursuant to the Approval Ordinance have been amended from time to time, and the Applicant has requested approval of a further amendment to the site plan for the Subject Property to relocate the existing entrance door to the Inovasi Restaurant ("**Inovasi Entrance Door**") further east along the building façade, as depicted on the plans prepared by Ruggles Architecture, consisting of two pages with a last revision date of April 24, 2014, attached to this Resolution as Exhibit A ("**Site Plan Amendment**"); and

WHEREAS, the relocation of the Inovasi Entrance Door pursuant to the Site Plan Amendment will eliminate the need for the existing exterior vestibule, which was previously approved by the Village pursuant to Resolution 2014-4; and

WHEREAS, pursuant to Section 10-6A-10 of the Village's Zoning Regulations, the relocation of the Inovasi Entrance Door constitutes remodeling of an existing building that affects the exterior appearance of such building, and therefore requires site plan review pursuant to Section 10-2-8 of the Zoning Regulations; and

WHEREAS, pursuant to Section 10-2-8B of the Zoning Regulations, the Village of Lake Bluff Architectural Board of Review considered and reviewed the Site Plan Amendment at a public hearing on July 7, 2015; and

WHEREAS, the Architectural Board of Review has recommended, and the Board of Trustees has determined, that it would be in the best interest of the Village to approve the Site Plan Amendment as set forth in this Resolution;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS, AS FOLLOWS:

Section 1. Recitals.

The foregoing recitals are incorporated into, and made a part of, this Resolution as findings of the Village Board.

Section 2. Public Hearing.

A public hearing to consider the Applicant's request for approval of the Site Plan Amendment was duly noticed pursuant to Section 10-2-8B of the Village's Zoning Regulations and held by the Architectural Board of Review on July 7, 2015, on which date the Architectural Board of Review recommended that the Village Board approve the Site Plan Amendment.

Section 3. Approval of the Site Plan Amendment.

In accordance with the standards and procedures in Section 10-2-8D of the Zoning Regulations, and subject to and contingent upon the conditions in Section 4 of this Resolution, the Site Plan Amendment prepared by Ruggles Architecture, consisting of two pages with a last revision date of April 24, 2014, all of which are attached to and incorporated into this Resolution as ***Exhibit A***, is approved pursuant to Subsection 10-2-8C of the Zoning Regulations and the home rule powers of the Village.

Section 4. Conditions.

The approval granted in Section 3 of this Resolution is subject to and contingent upon each of the following conditions, restrictions, and provisions:

A. Compliance with the Site Plan Amendment. Except for minor changes and site work approved by the Village Building Commissioner or Village Engineer in accordance with applicable Village standards, the installation, use, and maintenance of the Inovasi Entrance Door on the Property must be in substantial compliance with the Site Plan Amendment.

B. Compliance with Applicable Law. In addition to the other specific requirements of this Resolution, the Property must comply at all times with all applicable federal, state, and Village statutes, ordinances, resolutions, rules, codes, and regulations, including without limitation the Village's building, electrical, and fire prevention codes.

C. Continuing Effect. The Approval Ordinance remains in full force and effect, provided that in the event of any conflict between the Approval Ordinance and this Resolution as to the location of the Inovasi Entrance Door, this Resolution shall control.

D. Removal of Exterior Vestibule. Upon completion of the relocation of the Inovasi Entrance Door pursuant to the Site Plan Amendment, the existing exterior vestibule approved pursuant to Resolution 2014-4 shall be permanently removed and Resolution 2014-4 shall be of no further force or effect.

Section 5. Effect of Approval.

Pursuant to Section 10-2-8E of the Lake Bluff Zoning Regulations, the approval granted pursuant to Section 3 of this Resolution shall not authorize the establishment or extension of any use, nor the development, construction, reconstruction, alteration, or moving of any buildings or structures, but shall merely authorize the preparation, filing, and processing of applications for any permits or approvals that may be required by the codes and ordinances of the Village, including, without limitation, building permits.

Section 6. Amendments.

Any amendments to the Site Plan Amendment approved in Section 3 of this Resolution may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Regulations.

Section 7. Effective Date.

This Resolution will be effective only upon passage by the President and Board of Trustees in the manner required by law.

PASSED this ___ day of _____, 2015, by vote of the Board of Trustees of the Village of Lake Bluff, as follows:

AYES: ()

NAYS: ()

ABSTAIN: ()

ABSENT: ()

APPROVED this ___ day of _____, 2015.

Village President

ATTEST:

Village Clerk

#36551544_v1

Exhibit A

Site Plan Amendment

JUN 29 2015

**APPLICATION FOR ARCHITECTURAL REVIEW
VILLAGE OF LAKE BLUFF, ILLINOIS
SITE PLAN APPROVAL**

Applicant:	INOVASI RESTAURANTS LLC
Mailing Address:	28 E CENTER AVE
Location of project:	28 E CENTER AVENUE
Telephone:	847 361 6210
E-Mail Address:	RON @ oesterlein.com
Contact Individual for Project:	RON Oesterlein

APPLICATION REQUIREMENTS

Any applicant seeking site plan approval shall submit to the Village Administrator, or his or her designee, 13 copies of each of the following documents listed below plus a non-refundable application fee of \$300.00 (see current fee schedule) plus an amount determined by the Village Administrator to reimburse the Village for all anticipated out of pocket expenses incurred in connection with the delivery of notice pursuant to this section.

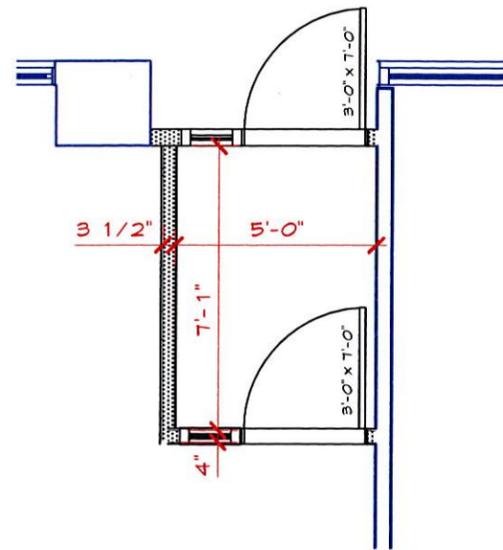
- **A survey** showing existing conditions including buildings, structures, trees over four inches in trunk diameter, streets, utility easements, rights-of-way, land use, and other data required by the Lake Bluff Subdivision Ordinance.
- **A site plan** showing proposed building locations and land use areas, sidewalks, pedestrian walks, parking lot and walkway lighting, signage, and site plan amenities. The location of garbage and refuse collection points, mail pick-up points, and loading areas shall also be specified.
- **A vehicle and traffic parking plan** for access location, access geometric, onsite traffic circulation and parking areas.
- Preliminary drawings for buildings to be constructed, including floor plans, exterior elevations and sections, building materials, and a color, three dimensional rendering thereof.
- **Preliminary engineering plans** and engineering feasibility studies including: lighting: street improvements; drainage system; sewer system; and Public utility extensions. All requirements of the Lake Bluff Subdivision Ordinance must be fully complied with, including but not limited to construction of underground electrical and telephone service.



Existing North Elevations
1/8" = 1'-0"



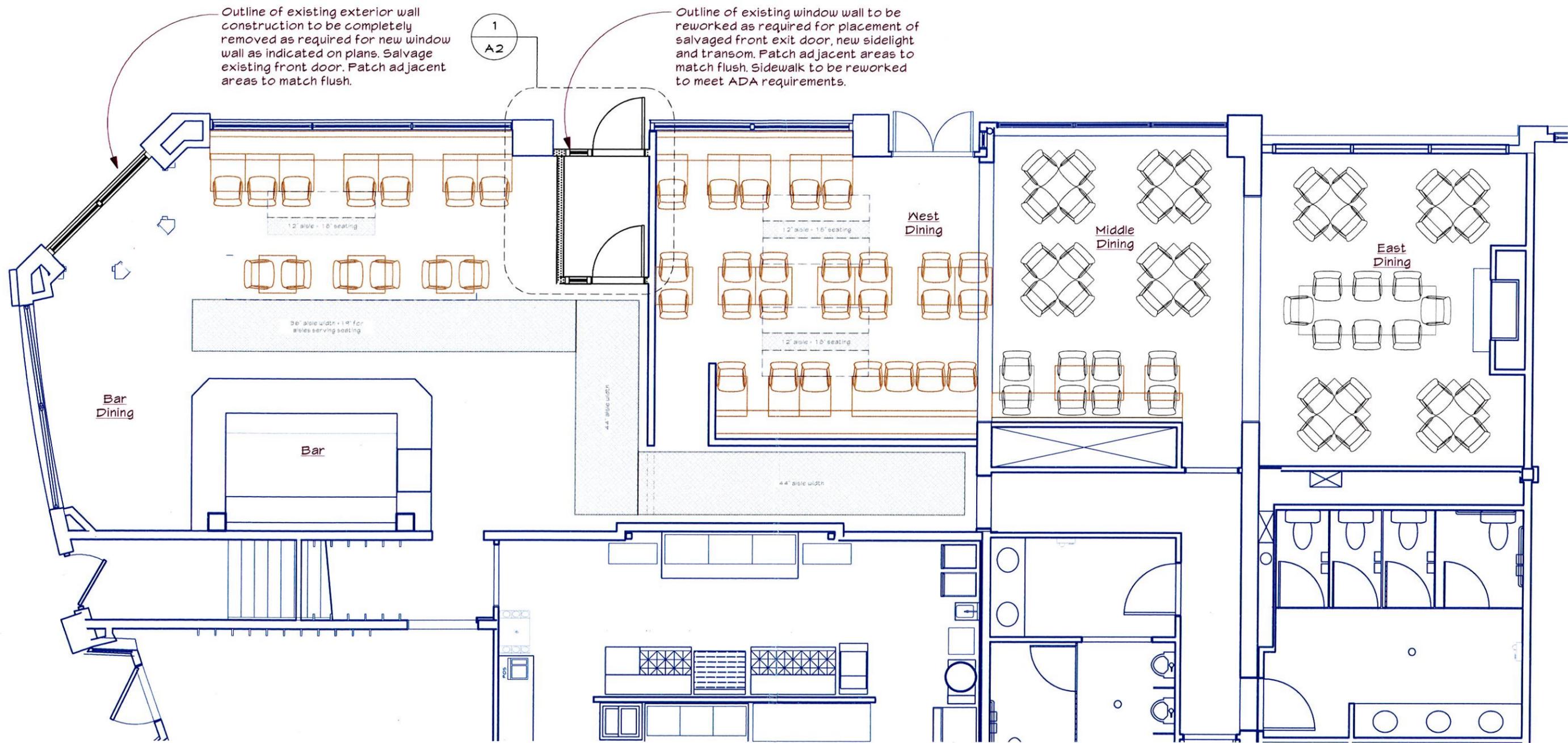
Proposed North Elevations
1/8" = 1'-0"



1 Vestibule Plan Detail
1/4" = 1'-0"



Exterior Elevations



First Floor Plan
 3/16" = 1'-0"

First Floor Plan

Memorandum

TO: Chairman Hunter and Members of the Architectural Board of Review

FROM: Mike Croak, Building Codes Supervisor

DATE: July 2, 2015

SUBJECT: **Agenda Item #5 – A Public Hearing to Consider a Site Plan to Review Changes to the Façade of Inovasi Restaurant at 28 E Center Avenue**

On June 29, 2015, an application for Architectural Review was submitted for the relocation of the front door of Inovasi Restaurant. The door is proposed to be moved farther east, where there is room for an interior vestibule. The existing door will be re-used and other materials and colors will match the existing building.

Recommendation:

It is recommended the ABR conduct a public hearing to consider the modifications to the site plan, appropriately question the Petitioner as needed, entertain public comments and questions from the petitioner and make one of the following recommendations regarding the site plan:

- Recommend that the Village Board approve the proposed site plan as presented or with conditions;
- Recommend that the Village Board deny the proposed site plan; or
- Request the petitioner to provide additional information for the ABR's consideration.

Ron Oesterlein of Central Avenue Partners will be in attendance at Tuesday's meeting to respond to questions from the ABR. If you should have any questions regarding this matter, please feel free to contact me at 847-283-6885.

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 14

Subject: AN ORDINANCE AMENDING TITLE III OF THE LAKE BLUFF
MUNICIPAL CODE CONCERNING THE NUMBER OF LIQUOR
LICENSES (Chipotle Mexican Grill, Inc.)

Action Requested: FIRST READING APPROVAL (Roll Call Vote)

Originated By: CHIPOTLE MEXICAN GRILL, INC.

Referred To: VILLAGE BOARD

Summary of Background and Reason For Request:

The Village is in receipt of a liquor license application from Chipotle Mexican Grill, Inc. seeking approval of a Class R license. A Class R license authorizes the retail sale of alcohol by restaurants provided the alcohol is consumed within the restaurant (and not outdoors) and is complimentary to the sale and service of a meal eaten at a table within the restaurant. Section 3-2-10 of the Municipal Code establishes the maximum number of alcoholic beverage licenses (by classification) available for issuance. Currently the liquor regulations allow for one Class R licenses (held by Bangkok Tokyo). Therefore, it is recommended Section 3-2-10 of the Municipal Code be amended to increase the number of licenses for Class R from one to two.

Staff will be available to respond to questions from the Village Board.

Reports and Documents Attached:

- Ordinance Amending the Village's Liquor Code.

Liquor Commissioner's Recommendation: Consideration of First Reading of the Ordinance.

Village Administrator's Recommendation: Consideration of First Reading of the Ordinance.

Date Referred to Village Board:

7/27/2015

ORDINANCE NO. 2015-__

**AN ORDINANCE AMENDING
TITLE 3 OF THE VILLAGE OF LAKE BLUFF MUNICIPAL CODE
CONCERNING THE NUMBER OF LIQUOR LICENSES**

Passed by the Board of Trustees, _____, 2015

Printed and Published, _____, 2015

Printed and Published in Pamphlet Form
by Authority of the
President and Board of Trustees

VILLAGE OF LAKE BLUFF
LAKE COUNTY, ILLINOIS

I hereby certify that this document
was properly published on the date
stated above.

Village Clerk

ORDINANCE NO. 2015-__

**AN ORDINANCE AMENDING
TITLE 3 OF THE VILLAGE OF LAKE BLUFF MUNICIPAL CODE
CONCERNING THE NUMBER OF LIQUOR LICENSES**

WHEREAS, pursuant to the Illinois Liquor Control Act, 235 ILCS 5/1-1 *et seq.*, the Village of Lake Bluff has the authority to license and regulate the retail sale of alcoholic beverages in the Village; and

WHEREAS, the Village of Lake Bluff desires to increase the number of Class R licenses in response to a recently received application for such license; and

WHEREAS, the President and the Board of Trustees of the Village have found and determined that the adoption of the amendments set forth in this Ordinance are in the best interest of the Village and its residents.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF LAKE BLUFF, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

Section 1. Recitals.

The foregoing recitals are incorporated into and made a part of this Ordinance by this reference as if fully set forth.

Section 2. Amendment to Number of Licenses.

Section 3-2-10, entitled "Number of Licenses" of Chapter 2, entitled "Liquor Control," of Title 3, entitled "Business and License Regulations," of the Lake Bluff Municipal Code, shall be and it is hereby amended to increase the number of Class R licenses as follows:

"3-2-10: Number of Licenses: The maximum number of alcoholic beverage licenses by classification thereof available at any time for issuance shall be as follows:

<u>Class</u>	<u>Number</u>
***	***
R	<u>2</u> =1 "

Section 4. Effective Date.

This Ordinance shall be effective following passage by the Board of Trustees of the Village of Lake Bluff in the manner required by law and publication in pamphlet form in the manner required by law.

PASSED this __ day of _____, 2015, by vote of the Board of Trustees of the Village of Lake Bluff, as follows:

AYES: ()

NAYS: ()

ABSTAIN: ()

ABSENT: ()

APPROVED this ___ day of _____, 2015.

Village President

ATTEST:

Village Clerk

FIRST READING:

SECOND READING:

PASSED:

APPROVED:

PUBLISHED IN PAMPHLET FORM:

**VILLAGE OF LAKE BLUFF
REQUEST FOR BOARD ACTION**

Agenda Item: 15

Subject: AN ORDINANCE GRANTING A VARIATION FROM THE VILLAGE'S
REAR YARD SETBACK REGULATIONS (404 Moffett Road)

Action Requested: SECOND READING APPROVAL (Roll Call Vote)

Originated By: VINCENT FLANNERY & JODI BARKE (Petitioners)

Referred To: JOINT PLAN COMMISSION & ZONING BOARD OF APPEALS

Summary of Background and Reason For Request:

On May 22, 2015 the Village received a zoning application from Vincent Flannery and Jodi Barke (Petitioners), property owners of 404 Moffett Road, requesting a zoning variation to allow for the construction of an arbor that would encroach 7 ft. 6 in. into the rear yard setback along Sylvan Road. The arbor is 6 ft. 6 in. in height and 4 ft. 2 in. wide and will be placed at the northeast corner of the house adjacent to the attached garage. The property is considered an irregular through lot and must maintain a rear yard setback that is equal to its 20 ft. required front yard setback for the R-4 Residence District.

At its meeting on June 17th the Plan Commission & Zoning Board of Appeals (PCZBA) conducted a public hearing and recommended the Village Board approve the requested zoning variation to allow the arbor to encroach 7 ft. 6 in., or a 37.5% variation, into the rear setback along Sylvan Road. Additionally, the Petitioners are requesting approval to allow portions of the existing, as well as the proposed landscaping, to be planted in the Village's right-of-way. The Village Board approved first reading of the ordinance at its meeting on July 13, 2015.

Reports and Documents Attached:

- Ordinance (with Exhibits) Granting Requested Variation for 404 Moffett Road.

PCZBA's Recommendation: Approval of the Ordinance.

Village Administrator's Recommendation: Consideration of Second Reading of the Ordinance.

Date Referred to Village Board:

7/27/2015

ORDINANCE NO. 2015-_____

**AN ORDINANCE GRANTING A VARIATION
FROM THE VILLAGE'S REAR YARD SETBACK REGULATIONS
(404 Moffett)**

WHEREAS, Vincent Flannery and Jodi Barke (collectively, "**Applicant**") are the owners of the property located in the Village's R-4 Residence District ("**R-4 District**") at 404 Moffett Road, Lake Bluff, Illinois, which is legally described on **Exhibit A** attached hereto ("**Property**"); and

WHEREAS, the Property is considered an irregular "through lot" and must maintain a rear yard setback that is equal to its 20 foot required front yard setback pursuant to Sections 10-4-1B and 10-5-3A of the Zoning Regulations; and

WHEREAS, on May 22, 2015, the Applicant submitted an application including site plans, elevations, and a plat of survey (collectively, "**Application**"), requesting a variation from the rear yard setback regulations of the Lake Bluff Zoning Regulations in order to construct an arbor at the northeast corner of the existing home on the Property ("**Arbor**") that encroaches approximately 7.5 feet into the required rear yard setback ("**Rear Yard Setback Variation**"); and

WHEREAS, on June 17, 2015, the Village's Joint Plan Commission and Zoning Board of Appeals ("**PCZBA**") conducted a duly-noticed public hearing to consider the Rear Yard Setback Variation and recommended that the Village Board grant the Rear Yard Setback Variation; and

WHEREAS, the President and Board of Trustees has determined that it would be in the best interest of the Village to grant the Rear Yard Setback Variation in accordance with, and subject to, the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF LAKE BLUFF, LAKE COUNTY, ILLINOIS, AS FOLLOWS:

Section 1. Recitals.

The foregoing recitals are incorporated into this Ordinance as the findings of the President and Board of Trustees.

Section 2. Public Hearing.

A public hearing to consider the applicant's request for a variation from the rear yard setback regulations and the fence height regulations for the R-2 District in was duly advertised on June 1, 2015, in *The News-Sun*, and was held by the PCZBA on June 17, 2015, on which date the PCZBA recommended approval of the requested variation from the rear yard setback regulations.

Section 3. Grant of Variation.

Pursuant to the standards and procedures set forth in Section 10-2-4 of the Lake Bluff Zoning Regulations and subject to and contingent upon the conditions, restrictions, and

provisions set forth in Section 4 of this Ordinance, a variation of approximately 7.5 feet, or 37.5% percent, is hereby granted to the Applicant from the restrictions of Section 10-4-1B and 10-5-3 of the Lake Bluff Zoning Regulations to permit the Arbor to encroach 7.5 feet into the required rear yard setback for the Property.

Section 4. Conditions of Approval.

The findings in Section 1 and the variation granted in Section 3 of this Ordinance are hereby expressly subject to and contingent upon each of the conditions set forth in this Section.

A. Compliance with Application. The Arbor, the Property and all operations conducted thereon must be developed, used, maintained, and located in substantial compliance with the provisions set forth in Section 3 of this Ordinance and the Application attached to this Ordinance as ***Exhibit B.***

B. Compliance with Applicable Law. In addition to the other specific requirements of this Ordinance, the Arbor, the Property, and all operations conducted thereon must comply at all times with all applicable federal, state, and Village statutes, ordinances, resolutions, rules, codes, and regulations, including building, electrical, and fire prevention codes.

Section 5. Failure to Comply with Conditions.

Upon failure or refusal of the Applicant, or any of its officers, employees, or agents, to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, the variations granted in this Ordinance will, at the sole discretion of the Village Board of Trustees, by ordinance duly adopted, be revoked and become null and void.

Section 6. Binding Effect; Non-Transferability.

The privileges, obligations, and provisions of each and every Section of this Ordinance are for and will inure to the benefit of and run with and bind the Property, unless otherwise explicitly set forth in this Ordinance.

Section 7. No Third Party Beneficiaries.

Nothing in this Ordinance creates, or will be construed or interpreted to create, any third party beneficiary rights.

Section 8. Effective Date.

A. This Ordinance will be effective only upon the occurrence of all of the following events:

- i. Passage by the Board of Trustees of the Village of Lake Bluff in the manner required by law;
- ii. Printing and publication of this Ordinance in the manner required by law; and
- iii. The filing by the Applicant with the Village Clerk, for recording in the Office of the Lake County Recorder of Deeds, of an

unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance. The unconditional agreement and consent must be executed by the Applicant. The unconditional agreement and consent must be substantially in the form attached hereto and incorporated herein as **Exhibit C**.

B. In the event that the Applicant does not file with the Village Clerk the unconditional agreement and consent required by Paragraph 8.A(iii) of this Ordinance within 60 days after the date of final passage of this Ordinance, the Village Board of Trustees will have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

PASSED this ____ day of _____, 20__, by vote of the Board of Trustees of the Village of Lake Bluff, as follows:

AYES: ()

NAYS: ()

ABSTAIN: ()

ABSENT: ()

APPROVED this ____ day of _____, 20__.

Village President

ATTEST:

Village Clerk

FIRST READING: _____

SECOND READING: _____

PASSED: _____

APPROVED: _____

PUBLISHED IN PAMPHLET FORM: _____

Exhibit A

Legal Description of the Subject Property

PARCEL 1: LOTS 1, 2 AND 3 IN BLOCK 15 IN LAKE BLUFF, BEING A SUBDIVISION OF THE NORTHEAST FRACTIONAL QUARTER AND PART OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON MARCH 15, 1877 AS DOCUMENT NUMBER 16918, IN BOOK "A" OF PLATS, PAGE 95, IN LAKE COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE 20 FOOT STRIP AS SHOWN ON THE PLAT OF LAKE BLUFF, AFORESAID, LYING NORTH AND ADJOINING SAID LOTS 1, 2 AND 3, SAID 20 FOOT STRIP VACATED BY ORDINANCE OF THE VILLAGE OF LAKE BLUFF RECORDED ON SEPTEMBER 1, 1926 AS DOCUMENT NUMBER 323801 IN LAKE COUNTY, ILLINOIS

PIN # 12-21-222-021

Commonly known as 404 Moffett Road, Lake Bluff, Illinois.

Exhibit B

Zoning Application and Related Documents

VILLAGE OF LAKE BLUFF

Memorandum

TO: Chair Kraus and Members of the Joint Plan Commission & Zoning Board of Appeals
FROM: Brandon J. Stanick, Assistant to the Village Administrator
DATE: June 12, 2015
SUBJECT: **Agenda Item #4** - 404 Moffett Rd. Irregular Lot Rear Yd. Setback Variation

Applicant Information:	Vincent Flannery and Jodi Barke (Petitioners/Owners)
Location:	404 Moffett Road
Existing Zoning:	R-4 Zoning District (single-family detached residential)
Purpose:	To construct an arbor, 6 ft. 6 in. in height, at the northeast corner of the house.
Requested Action:	Seeking a zoning variation from the Zoning Regulations regarding irregular lots to allow a 7 ft. 6 in. encroachment into the required rear yard setback along Sylvan Road.
Public Notice:	<i>Lake County News Sun</i> – June 1, 2015
Lot Area:	14,422 sq. ft.
Existing Land Use:	Single-family residential
Surrounding Land Use:	<ul style="list-style-type: none">• North: Single-family residential• East: Single-family residential• South: Single-family residential• West: Single-family residential
Comprehensive Plan Land Use Objectives:	<ul style="list-style-type: none">• Preserve the unique residential character of the area; and• Encourage rehabilitation and control redevelopment in an orderly manner compatible with neighboring properties.
Zoning History:	Not applicable
Applicable Land Use Regulations:	Irregular Lots (Section 10-4-2I) Yard & Setback Exceptions (Section 10-4-1B) Front Yard Setback Requirements (Section 10-5-3A)

Background and Summary

On May 22, 2015 the Village received a zoning application from Vincent Flannery and Jodi Barke (Petitioner), property owners of 404 Moffett Road, requesting a zoning variation from the Zoning Regulations regarding irregular lots to allow for the construction of an arbor that would encroach 7 ft. 6 in. into the rear yard setback along Sylvan Road. The arbor is 6 ft. 6 in. in height and 4 ft. 2 in. wide and will be placed at the northeast corner of the house adjacent to the attached garage.

Existing Conditions

The existing one and one-half story single-family residence is located on a through lot bounded by Sylvan Road, Moffett Road and E. Sheridan Place. The front of the house is oriented to the southeast corner of the lot along Moffett Road. The lot is classified as an irregular lot due to its shape (and not because of the orientation of the house). Pursuant to Section 10-4-2I of the Zoning Code, setback requirements for irregular lots are the same as the setback requirements for immediately adjacent lots along the common lot line. The house at 404 Moffett Road is adjacent to one other lot and shares a common lot line with 421 Sylvan Rd.

The parcel is also classified as a through lot, which is a lot having its front and rear yards each abutting on a street or street right-of-way; 404 Moffett has a front yard along E. Sheridan Pl. and a rear yard along Sylvan Rd. Pursuant to Section 10-4-1B(1) of the Zoning Code, the setback for through lots shall conform to the front yard setback requirements of the zoning district in which such lot and the lots adjoining it on either side are located. Both 404 Moffett Rd. and its neighboring lot, 421 Sylvan Rd., are located in the R-4 Zoning District. The required front yard setback is 20 ft. in the R-4 Zoning District, and because 404 Moffett Rd. is a through lot, setbacks from each street are the same at 20 ft. (reference plat of survey).

Additionally, there is a line of tall bushes along Sylvan Rd. that screen the northeast corner of the property at the Sylvan Rd./Moffett Rd. intersection. The existing bushes are located in the Village's right-of-way (reference plat of survey) and were not previously approved by the Village Board. Also, the existing bushes are located in an area that creates a public safety hazard by interfering with vehicular sight lines at the Sylvan Rd./Moffett Rd. intersection. The Petitioner has been made aware of this existing condition which will require an alternate landscape plan, and if the Petitioner would like to continue with landscape treatment within the Village's right-of-way, will require Village Board approval.

Zoning Analysis

Village Staff has conducted the required zoning analysis and confirms the proposed arbor requires a variation from the Zoning Regulations regarding irregular lots to allow an approximate 7 ft. 6 in. encroachment into the required rear yard setback along Sylvan Road.

The Petitioners have provided statements addressing the standards for variation in the attached zoning application. The PCZBA should consider if the Petitioners' statements and submitted materials satisfy the established standards for variation.

PCZBA Authority

The PCZBA has the authority to:

- Recommend the Village Board approve, approve with the condition the landscape in the northeasterly right-of-way is addressed, or deny the Petitioners' request for:
 - A 37.5% variation from the **Zoning Regulations regarding irregular lots** to allow a 7 ft. 6 in. encroachment into the required rear yard setback along Sylvan Road.

Recommendation

Following the public hearing to consider the requested variation, the PCZBA should take one of the following actions:

- If more information is required, continue the public hearing to a date certain to allow the Petitioners to provide additional information; or
- If more information is not required, vote to:
 - Recommend the Village Board approve, approved with conditions, or deny the requested variation from the Village's Zoning Code.

Attachments

- Petitioners' zoning application and related material;
- Comprehensive Land Use Objectives for Land Use Area 2; and
- Aerial Map of Neighborhood.

If you should have any questions concerning the information provided in this memorandum please feel free to contact me at 847-283-6889.

FEE PAID:
RECEIPT NUMBER:

DATE RECEIVED
BY VILLAGE:

RECEIVED
MAY 22 2015

VILLAGE OF LAKE BLUFF
APPLICATION FOR ZONING VARIATION, SPECIAL USE PERMIT, REZONING, OR PRD

BY:

SUBJECT PROPERTY

Address: 404 Moffett Road Zoning District: R4
(Property address for which application is submitted)
Current Use: Residential
(Residential, Commercial, Industrial, Vacant, Etc.)
PIN Number: 12-21-222-021

APPLICANT

Applicant: Vincent Flannery
Address: 404 Moffett Road, LB
(Address if different than subject property)
Relationship of Applicant to Property: owner
(Owner, Contract Purchaser, Etc.)
Home Telephone: (312) 504-8083 Business Telephone: _____

OWNER

Owner - Title Holder	If Joint Ownership
Name: <u>Vincent Flannery</u>	Joint Owner: <u>Jodi Burke</u>
Address: <u>404 Moffett Road</u>	Address: <u>404 Moffett Road</u>
<u>LB 160044</u>	<u>LB</u>
Daytime Phone: <u>312 504 8083</u>	Daytime Phone: <u>(312) 504-8083</u>

If ownership is other than individual and/or joint ownership, please check appropriate category and provide all additional ownership information as an attachment.

- Corporation
- Land Trust
- Other: _____
- Partnership
- Trust

Are all real estate taxes, special assessments and other obligations on the subject property paid in full?

Yes No If No, Explain: _____

ACTION REQUESTED

To provide time for legal notification requirements, any application requiring a Public Hearing before the Zoning Board of Appeals must be received at least 25 days prior to the next meeting date.

- Zoning Variation
- Special Use Permit
- Text Amendment
- Rezoning
- Planned Residential Development
- Other: _____

Applicable Section(s) of Zoning Ordinance, if known: _____ SECTION 10-4-21, IRREGULAR LOTS

Narrative description of request: INSTALL Decorative ARBOR FOR ACCESS POINT TO REAR YARD & ADD some privacy from Drive & Moffett Road

STANDARDS FOR VARIATIONS AND SPECIAL USE PERMITS

The Zoning Board is required by the Illinois State Statutes to apply the following standards in reviewing requests for Variations and Special Use Permits. The Board may only grant a variation or recommend that the Village Board grant a variation in cases where there are practical difficulties and particular hardships brought about by the strict application of the Zoning Ordinance and not by any persons, presently or formerly, having an interest in the property. The applicant has the burden of establishing each of these standards both in writing and at the Public Hearing. Please attach additional materials if necessary.

STANDARDS FOR VARIATIONS:

1. **Practical Difficulty or Hardship:** Describe the practical difficulty or particular hardship that would result from the strict application of the Zoning Ordinance.

No privacy to REAR YARD
CLOSE OFF view to DRIVEWAY & MOFFETT RD

2. **Unique Physical Condition:** Describe the unique characteristics of the lot or structures on the subject property which are exceptional, such as: a) existing unique structures or uses, b) irregular lot shape, size, or location, c) exceptional topographical features, or d) other extraordinary physical conditions.

This is an irregular shaped LOT WITH STREETS ON THREE SIDES, SYLVAN, MOFFETT, E. SHERIDAN place

3. **Special Privilege:** Describe how the request will not simply provide the applicant with a special privilege that other property owners do not enjoy. The request must be for relief from the regulations due to hardship, and not simply to reduce inconvenience or to provide for financial gain.

Arbor is to beautify yard only. There are many Arbors in town and this lot is more restricted by zoning due to layout. Streets on three sides

4. **Code Purposes:** Describe how the request does not violate the intentions of the regulations. The applicant must show that the request does not adversely impact surrounding properties or the general welfare.

ARBOR is Decorative Feature & will not impact surrounding properties. ARBOR is on North East side of house & is adjacent to streets NOT neighbors

5. **Public Health and Safety:** Describe how the request will not: a) adversely impact the supply of light and air to adjacent properties, b) increase traffic congestion, c) increase the hazard of fire, d) endanger public safety, e) diminish the value of property within the surrounding area, or f) impair the public health, safety, comfort, morals, and welfare of the people.

(No impact)

STANDARDS FOR SPECIAL USE PERMITS:

1. **General Standard:** Describe how the proposed use will not adversely impact adjacent properties.

2. **No Interference with Surrounding Development:** Describe how the proposed use will not hinder or interfere with the development or use of surrounding properties.

3. **Adequate Public Facilities:** Describe how the proposed use will be served by streets, public utilities, police and fire service, drainage, refuse disposal, parks, libraries and other public services.

4. **No Traffic Congestion:** Describe how the proposed use will not cause undue traffic and traffic congestion.

5. **No Destruction of Significant Features:** Describe how the proposed use will not destroy or damage natural, scenic or historic features.

STANDARDS FOR TEXT AMENDMENTS

The wisdom of amending the Village Zoning Map or the text of the Zoning Code is a matter committed to the sound legislative discretion of the Village Board of Trustees and is not dictated by any set standard. In determining whether a proposed amendment will be granted or denied the Board of Trustees may be guided by the principle that its power to amend this title should be exercised in the public good.

TEXT AMENDMENT GUIDING PRINCIPLES:

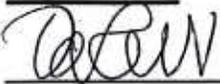
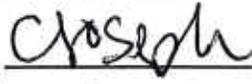
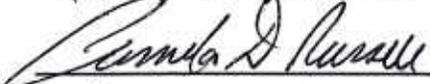
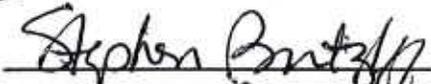
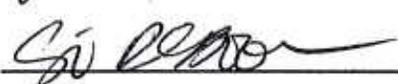
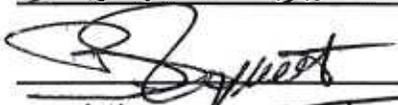
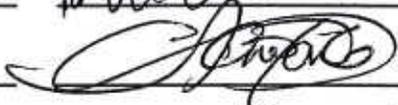
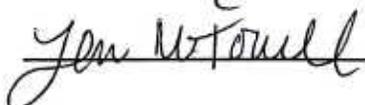
In considering whether the principle is satisfied in amending the text of the Zoning Code, the Board of trustees may weigh, among other factors, the following:

1. **The consistency of the proposed amendment with the purposes of this title:**

2. **The community need for the proposed amendment and any uses or development it would allow:**

3. **The conformity of the proposed amendment with the village's comprehensive plan and zoning map, or the reasons justifying its lack of conformity:**

I APPROVE the building of an arbor at 404 MOFFETT ROAD
I understand that a variance is required due to the set backs, etc

	<u>PRINT NAME</u>	<u>SIGNATURE</u>	<u>ADDRESS</u>
1	DAVID KISSEL		422 Ravine
2	Courtney Joseph		440 Ravine Ave
3	Nan (Anne) Caldwell		400 Ravine Ave.
4	Mary H. Franke	MARY H. FRANKEUR	456 Gurney Ave.
5	Pam Russell		448 Gurney Ave.
6	Stephen Bantzoff		329 Sylvan Rd.
	Kathryn Bantzoff		329 Sylvan Rd.
8	Alan DeBroom		381 Moffett Rd
9	Kendall DeBroom		381 Moffett Rd
10	Siv DeBroom		381 Moffett Rd.
11	Stephen Best	STEPHEN BEST	361 Moffett Rd.
12	Bryan Ruppert		654 Mawman Ave
13	Sandi Ruppert		654 Mawman Ave
14	MARGARET WHITE		400 E. SHERIDAN
15	PETE WHITE		" " "
16	AARON TOMLE		421 SYLVAN RD
17	Lauren Tomle		421 Sylvan Rd
18			
19			
20			



LakeCounty

FROM THE OFFICE OF: DAVID B. STOLMAN, LAKE COUNTY COLLECTOR
Make Checks Payable to: LAKE COUNTY COLLECTOR

1ST INSTALLMENT
PAYMENT COUPON
RETURN WITH PAYMENT

1

Tax Year 2014
12-21-222-021

12-21-222-021



VINCENT FLANNERY
404 MOFFETT RD
LAKE BLUFF IL 60044-2602



Taxes Due on or before 6/3/2015
\$10,304.92 DUE

Tax Bills are mailed to the taxpayer of record,
even if your Lender is responsible for payment.

00003920

122122202100000001030492201412

Name Change

↓ TEAR HERE ↓



LakeCounty

FROM THE OFFICE OF: DAVID B. STOLMAN, LAKE COUNTY COLLECTOR
Make Checks Payable to: LAKE COUNTY COLLECTOR

2ND INSTALLMENT
PAYMENT COUPON
RETURN WITH PAYMENT

2

Tax Year 2014
12-21-222-021

Tax Bills are mailed to the taxpayer of record,
even if your Lender is responsible for payment.

12-21-222-021



Taxes Due on or before 9/3/2015
\$10,304.93 DUE

VINCENT FLANNERY
404 MOFFETT RD
LAKE BLUFF IL 60044-2602

122122202100000001030493201423

Name Change

↓ TEAR HERE ↓

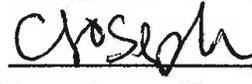
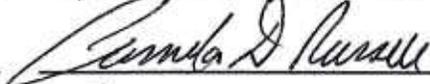
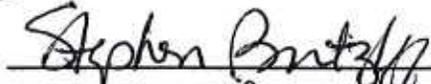
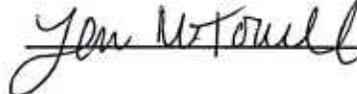
Property Location: 404 MOFFETT RD
LAKE BLUFF
Legal Description: VILLAGE OF LAKE BLUFF LOTS 1 2 & 3 ALSO VAC 20 FT
STRIP LYG N & ADJ BLOCK 15

Pin Number 12-21-222-021
Tax Year 2014
Tax Code 10011
Acres 0.00

Taxing Body	Rate	Current Amount	Change From Prior Year
COUNTY OF LAKE	0.549129	\$1,590.82	27.17
COUNTY OF LAKE PENSION	0.133370	\$386.37	12.27
VIL OF LAKE BLUFF	0.455258	\$1,318.89	6:61
VIL OF LAKE BLUFF LIBRARY	0.182249	\$527.98	13.59
VIL OF LAKE BLUFF PENSION	0.204499	\$592.43	28.36
ROAD AND BRIDGE-SHIELDS	0.033064	\$95.79	2.26
LAKE BLUFF PARK DIST	0.469337	\$1,359.69	129.24
LAKE BLUFF PARK DIST PENSION	0.066469	\$192.57	17.21
LAKE BLUFF MOSQUITO ABATEMENT	0.015332	\$44.42	0.58
LAKE BLUFF SCHOOL DISTRICT #65	2.702081	\$7,827.99	205.70
LAKE BLUFF SCHOOL DISTRICT #65 PENSION	0.074486	\$215.79	43.35
COLLEGE OF LAKE COUNTY #532	0.306068	\$886.69	21.58
LAKE FOREST HIGH SCHOOL DISTRICT #115	1.396017	\$4,044.29	43.16
LAKE FOREST HIGH SCHOOL DISTRICT #115 PENSION	0.052113	\$150.97	1.91
NORTH SHORE WATER RECLAMATION DISTRICT	0.169401	\$490.76	11.44
FOREST PRESERVE	0.200430	\$580.65	-18.50
FOREST PRESERVE PENSION	0.009573	\$27.73	-10.26
CEN LK COUNTY JOINT ACTION WATER AGENCY	0.055907	\$161.96	1.21
TOWNSHIP OF SHIELDS	0.036970	\$107.10	4.81
TOWNSHIP OF SHIELDS PENSION	0.002401	\$6.96	1.11
TOTALS	7.114154	\$20,609.85	\$542.80

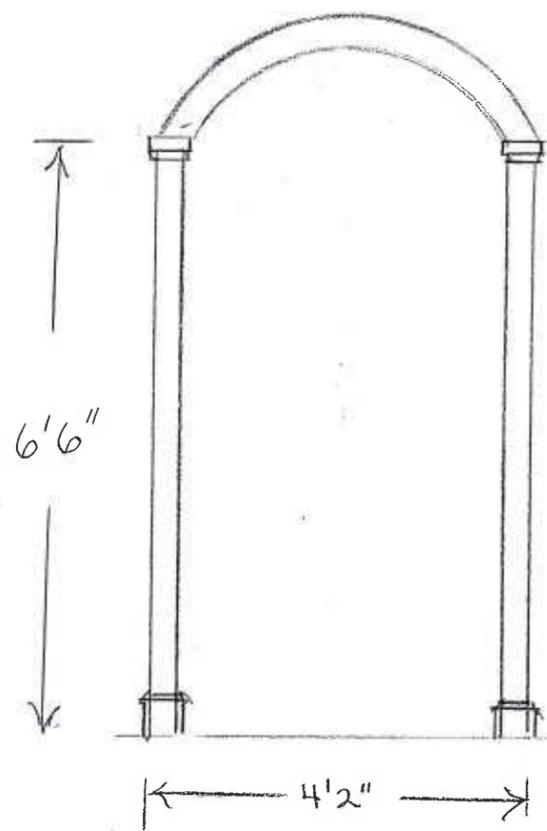
Land Value	\$106,487
+ Building Value	\$189,215
x State Multiplier	1
= Equalized Value	\$295,702
+ Farm Land and Bldg Value	
+ State Assessed Pollution Ctrl	
+ State Assessed Railroads	
= Total Assessed Value	\$295,702
- Fully Exempt	
- Senior Freeze	
- Home Improvement	
- General Homestead	\$6,000.00
- Senior Homestead	
- Disabled / Veterans	
- Returning Veterans	
= Taxable Valuation	\$289,702
x Tax Rate	7.114154
= Real Estate Tax	\$20,609.85
+ Special Service Area	
+ Drainage	
= Total Current Year Tax	\$20,609.85
+ Omitted Tax	
+ Forfeited Tax	
= TOTAL TAX BILLED	\$20,609.85
Fair Market Value	\$887,106
1st Installment Due 6/3/2015	\$10,304.92
2nd Installment Due 9/3/2015	\$10,304.93

I APPROVE the building of an arbor at 404 MOFFETT ROAD
I understand that a variance is required due to the set backs, etc

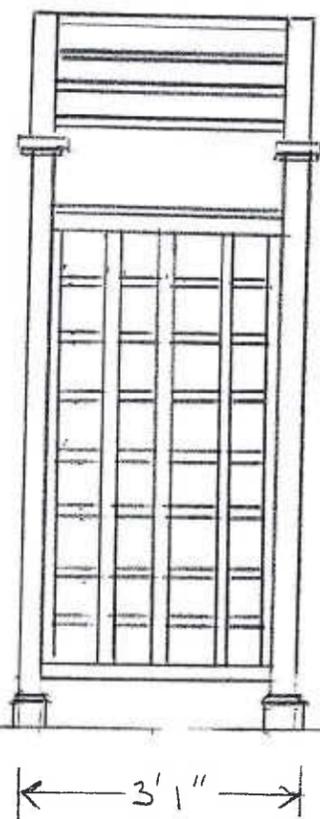
	<u>PRINT NAME</u>	<u>SIGNATURE</u>	<u>ADDRESS</u>
1	DAVID KISSEL		422 RAVINE
2	Courtney Joseph		410 Ravine Ave
3	Nan (Anne) Caldwell		400 Ravine Ave.
4	Mary H. Fancher	MARY H. FANCHER	456 Gurney Ave.
5	Pam Russell		448 Gurney Ave.
6	Stephen Bantzoff		329 Sylvan Rd.
	Kathryn Bantzoff		329 Sylvan Rd.
8	Alan DeBroom		381 Moffett Rd
9	Kendall DeBroom		381 Moffett Rd
10	Siv DeBroom		381 Moffett Rd.
11	Stephen Bantz	STEPHEN BANTZ	361 Moffett Rd.
12	Bryan Ruppert		654 MAUNY AVE
13	Sandi Ruppert		654 MAUNY AVE
14	MARGARET WHITE		400 E. SHERIDAN
15	PETE WHITE		" " "
16	AARON TOWLE		421 SYLVAN RD
17	Lauren Towle		421 Sylvan Rd
18			
19			
20			



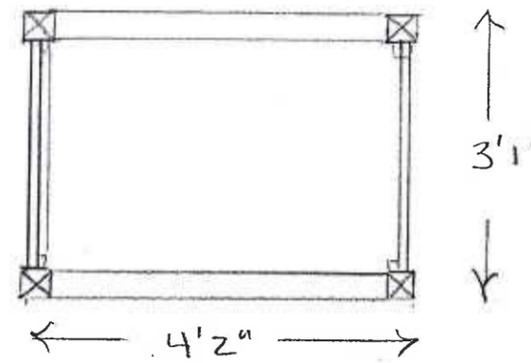




FRONT & REAR VIEW



SIDE VIEW



FLOOR PLAN

JODIE BARKE
& VINCE FLANNERY

JODIE & VINCE
404 MOTT RD
LAKE BLUFF IL.

Exhibit C

Applicants' Unconditional Agreement and Consent

TO: The Village of Lake Bluff, Illinois ("**Village**"):

WHEREAS, Vincent Flannery and Jodi Barke (collectively, "**Applicant**") are the owners of the property located in the Village's R-4 Residence District ("**R-4 District**") at 404 Moffett Road, Lake Bluff, Illinois, which is legally described on **Exhibit A** attached hereto ("**Property**"); and

WHEREAS, the Property is considered an irregular "through lot" and must maintain a rear yard setback that is equal to its 20 foot required front yard setback pursuant to Sections 10-4-1B and 10-5-3A of the Zoning Regulations; and

WHEREAS, on May 22, 2015, the Applicant submitted an application including site plans, elevations, and a plat of survey (collectively, "**Application**"), requesting a variation from the rear yard setback regulations of the Lake Bluff Zoning Regulations in order to construct an arbor at the northeast corner of the existing home on the Property ("**Arbor**") that encroaches approximately 7.5 feet into the required rear yard setback ("**Rear Yard Setback Variation**"); and

WHEREAS, on June 17, 2015, the Village's Joint Plan Commission and Zoning Board of Appeals ("**PCZBA**") conducted a duly-noticed public hearing to consider the Rear Yard Setback Variation and recommended that the Village Board grant the Rear Yard Setback Variation; and

WHEREAS, Ordinance No. _____, adopted by the President and Board of Trustees of the Village of Lake Bluff on _____, 20__, ("**Ordinance**") approves the requested Variation, subject to certain modifications, conditions, restrictions, and provisions; and

WHEREAS, Subsection 8.B of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Applicants file with the Village Clerk, within 60 days following the passage of the Ordinance, its unconditional agreement and consent to accept and abide by each of the terms, conditions and limitations set forth in said Ordinance;

NOW, THEREFORE, the Applicant does hereby agree and covenant as follows:

1. The Applicant hereby unconditionally agrees to accept, consent to, and abide by all of the terms, conditions, restrictions, and provisions of the Ordinance.
2. The Applicant acknowledges that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, have considered the possibility of the revocation provided for in the Ordinance, and agree not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.
3. The Applicant acknowledges and agrees that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's issuance of any permits or approvals for the use of the Property, and that the Village's issuance of any such permits or approvals does not, and will not, in any way, be deemed to insure the Applicant against damage or injury of any kind and at any time.

4. The Applicant agrees to and hereby holds harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the operation and use of the Property, or the Village's adoption of the Ordinance approving the Variation.

Dated: _____, 20__.

ATTEST:

VINCENT FLANNERY

By: _____

By: _____

Its: _____

Its: _____

ATTEST:

JODI BARKE

By: _____

By: _____

Its: _____

Its: _____