

**VILLAGE OF LAKE BLUFF
ARCHITECTURAL BOARD OF REVIEW**

TUESDAY, JULY 7, 2015 – 7:00 P.M.

**VILLAGE HALL BOARD ROOM
40 E. CENTER AVENUE, LAKE BLUFF, ILLINOIS**

AGENDA

- 1. Call to Order and Roll Call**
- 2. Consideration of the June 2, 2015 and June 11, 2015 Architectural Board of Review Meeting Minutes**
- 3. Non-Agenda Items and Visitors (Public Comment Time)**
The Architectural Board of Review Chair and Board Members allocate fifteen (15) minutes during this item for those individuals who would like the opportunity to address the Board on any matter not listed on the agenda. Each person addressing the Architectural Board of Review is asked to limit their comments to a maximum of three (3) minutes.
- 4. A Public Hearing to Consider a Site Plan to Review Changes to Stairs, Landings, and a Ramp at Sunrise Park**
- 5. A Public Hearing to Consider a Site Plan to Review the Relocation of the Front Door of Inovasi Restaurant**
- 6. Consideration of a Sign Permit Application for Starbucks at 975 Rockland Road (in Target Store)**
- 7. Consideration of a Sign Permit Application for Athletico Physical Therapy at 233 S Waukegan Road, Suite 100**
- 8. Consideration of a Wayfinding Sign at Target at 975 Rockland Road (expecting to receive revised design before meeting)**
- 9. A Discussion Regarding the Possibility of ABR Review of New Single Family Homes**
- 10. Staff Report**
 - **Confirm Next Regular Meeting – August 4, 2015 (1st Tuesday)**

11. Adjournment

The Village of Lake Bluff is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact R. Drew Irvin at 234-0774 or TDD number 234-2153 promptly to allow the Village of Lake Bluff to make reasonable accommodations.

**VILLAGE OF LAKE BLUFF
ARCHITECTURAL BOARD OF REVIEW
REGULAR MEETING
JUNE 2, 2015**

DRAFT MINUTES

1. Call to Order and Roll Call

The meeting of the Architectural Board of Review (ABR) of the Village of Lake Bluff was called to order on June 2, 2015 at 7:00 p.m. in the Village Hall Board Room (40 E. Center Avenue) and the following were present.

Present: Ed Deegan
 Neil Dahlmann
 Steve Rappin
 Carol Russ
 John Sorenson
 Bob Hunter, Chair

Absent: Matthew Kerouac, Member

Also Present: Mike Croak, Building Codes Supervisor

2. Consideration of the May 5, 2015 ABR Meeting.

Member Dahlmann moved to approve the minutes as presented. Member Russ seconded the motion. The motion passed on a unanimous voice vote.

3. Non-Agenda Items and Visitors (Public Comment Time)

Chair Hunter stated there were no requests to address the ABR.

4. Consideration of a Sign Permit Application for Leggy Bird Designs at 103 E. Scranton Avenue

Chair Hunter introduced the agenda item and invited the Petitioner to the podium.

Ms. Victoria Lidstrom of Leggy Bird Designs stated the proposed signage is for the design studio located in the downtown.

Building Codes Supervisor Mike Croak stated the ABR can give final approval for the window and the hanging sign above the door; however, the door sign requires a sign code exemption and would require a recommendation to the Village Board.

Member Sorenson inquired of the regulations for door signs. Building Codes Supervisor Croak stated the sign code only allows door signage when there is no other space available for the signs.

Following a question from Member Dahlmann, Ms. Lidstrom stated the property owner had reviewed and approved the proposed plans.

Member Deegan moved to approve the window and wall signs and recommend Village Board approval of an exemption to the Sign Code to allow one door sign. Member Dahlmann seconded the motion. The motion passed on a unanimous voice vote.

5. A Public Hearing to Consider a Site Plan to Review Changes to the Exterior of the Building and Signage for Bernie's Book Bank at 917 North Shore Drive

Chair Hunter administered the oath to those in attendance and opened the public hearing regarding the matter.

Liz Peron, Facilities Subcommittee Chairperson, stated the proposed application is a request for signage and exterior modifications to the existing building.

Mr. Brian Floriani, Bernie's Book Bank Founder and Executive Director, stated the organization collects, processes and distribute used children's books throughout the Chicagoland area.

Mr. Jim Foley, Owner's Representative introduced himself to the ABR

Member Deegan stated he has no problem with the proposed signage and inquired of the proposed modifications. Ms. Peron stated the modifications would include:

- new rooftop HVAC units to be setback far enough from the edge of the roof so as not to be visible from the ground;
- a new trellis, entry canopy and a wall at the entryway on the north side of the building;
- additional window on the north and east sides of the building
- A monument sign at the entrance of the driveway with landscaping;
- a wall sign on feature wall at front entrance; and
- landscape plan.

In response to a comment from Member Dahlmann, Ms. Peron stated the intent is to paint the lower section of the existing stucco gray and the upper section green to match the logo. The existing brick wall would remain unchanged.

Member Rappin stated the proposed improvements would benefit the area. He also asked if the the proposed wall and standing signage would be internally illuminated. Ms. Peron stated there would be one spotlight on each side of the driveway monument sign and directional lighting for the entrance way signage. The other additional lighting includes: emergency lighting at the new door opening, lighting within the canopy above the front entrance and the existing flag pole would be illumination during the evening.

Member Russ stated the proposed modifications are a good change for the building which will be a nice addition to the industrial park. Member Russ inquired of the rooftop HVAC units. Ms. Peron showed the location for the proposed units and noted the units would not be visible from the ground.

Member Sorenson expressed his agreement with the comments made by the ABR.

Chair Hunter expressed his opinion the building will enhance that particular area of the industrial park.

Member Deegan recommended Village Board approval of the proposed modifications to the existing site plan for changes to the exterior of the building and new signage with the condition that Staff review the placement of the proposed rooftop HVAC units. Member Russ second the motion. The motion passed on a unanimous voice vote.

6. A Public Hearing to Consider a Site Plan to Review Changes to the Parking Lot at 101 Waukegan Road

Chair Hunter administered the oath to those in attendance and opened the public hearing regarding the matter.

Mr. Donald Shoemaker of Franklin 101 Waukegan, LLC introduced Mr. Rick Corby with Brickman Group and Mr. Roger Heerema of Wright Heerema Architects. Mr. Shoemaker provided background information regarding the building and noted the main concern with the site is the shortage of parking spaces. Mr. Shoemaker reviewed the revised site plan/parking layout and landscape plan.

Chair Hunter reviewed the PCZBA recommendation which included the potential for a sidewalk. Mr. Shoemaker stated the landscape plan was revised to support a future walkway along Carriage Park Avenue without removing an existing trees.

Member Sorenson asked if the building was currently occupied. Mr. Shoemaker stated the 100,000 sq. ft. building is 40 percent occupied. Mr. Shoemaker provided information regarding proposed tenants and noted the building is designed for office or medical office use.

Member Sorenson inquired of the green space in comparison to the surrounding buildings. Mr. Shoemaker stated they have no intent of encroaching into the setback along Waukegan Road and expressed his uncertainty regarding the percentages of neighboring building green space.

Member Russ stated it is essential to maintain the green space along Waukegan Road. She expressed her concern regarding the proposed lighting matrix for the eastern lot as well as the proposed landscaping.

In response to a comment from the ABR regarding the lighting photographic plans, Mr. Heerema stated the intent is to use the existing heads with more efficient LED lighting that will not spill out over the property line. The proposed three headed lighting is requested to accommodate a newer fixture with a different distribution pattern. The intent is to have a more modernized lighting system that will also produce more even lighting throughout the area.

Mr. Heerema commented on the proposed landscape plan and noted they were careful to extend the perimeter buffer and conceptually maintain a consistent buffer around the site.

Member Rappin stated it is imperative to maintain the frontage along Waukegan Road. He expressed his concern regarding the mass of asphalt and recommended additional landscaping for the area.

Member Dahlmann commented on parking ratio for medical buildings and asked if the Petitioner would consider using approximately 10,000 sq. ft. of interior space to create an indoor parking area. Mr. Shoemaker stated the indoor parking would reduce the amount of rental space for prospective tenants.

Member Deegan asked if the landscaping could be extended through the asphalted area.

In response to a comment from Chair Hunter, Building Codes Supervisor Croak stated the Village's parking code requires less parking than what is feasibility with the current market. A discussion ensued regarding parking regulations.

Chair Hunter commented on the current aisles and parking spaces. He asked if the Petitioner would consider reducing the number of parking spaces to widen the aisles and add nicer landscaping. He further expressed his concern regarding use of the main entrance. Mr. Shoemaker stated most of the tenants would have an exterior entrance. A discussion ensued regarding the entrance way corridor and parking.

Member Russ said that keeping the Waukegan Road greenspace is essential. She stated although the parking spaces are needed to make the building marketable it should not be at the expense of the landscaping. The proposed landscape plan should be revised to add more landscaping as this is a prominent corner of the Village.

Member Sorenson departed at 7:59 p.m.

Mr. Rick Corby reviewed the proposed improvements to the landscape plan. A discussion followed.

Mr. Shoemaker stated the green spaces would make the building more marketable and noted they are open to a landscape plan that fits well within the area without reducing the parking spaces. He expressed his belief that indoor parking could hurt them financially. A discussion regarding parking and the types of vegetation throughout the parking area followed.

Mr. Shoemaker commented on the PCZBA's recommendation regarding the size of the parking stalls and noted office building parking lots do not generate as much traffic as a retail parking lot and are more pedestrian friendly. He stated they would like to get some direction from the ABR which would allow them to move forward and get the work done. Mr. Shoemaker asked for additional time to revise the landscape and site plan to reflect the concerns of tonight's meeting.

Chair Hunter closed the public hearing.

It was the consensus of the ABR to continue the public hearing to allow the Petitioner additional time to revise the proposed landscape plan to increase landscape areas in the parking lot.

7. Staff Report

Building Codes Supervisor Croak stated the Village Board is asked for community dialogue and recommendations from the various Advisory Boards regarding the following "4 Points":

- If the Village’s historic preservation regulations are truly achieving the purpose of promoting historic and architectural preservation in the Village;
- If the Village’s bulk and massing regulations are effectively managing the massing of new single-family homes;
- If the Village’s subdivision regulations are protecting the character of Lake Bluff; and
- If there is a desire to implement architectural review requirements for new single-family homes.

The Village Board referred the review and evaluation of the Village’s: preservation regulations to the HPC, a subdivision and bulk review to the Joint Plan Commission and Zoning Board of Appeals, and residential design, specifically single family homes, review to the Architectural Board of Review.

Chair Hunter stated he and Staff has had discussions regarding the submission of elevation plans for review. He stated his recommendations was anytime there is a demolition we would review the proposed plans.

Building Codes Supervisor Michael Croak stated the City of Highland Park had limited further subdivisions in their lakefront zoning district by adapting an overlay district that changed lot area requirements for new subdivisions from 20,000 sq. ft. to 40,000 sq. ft. A discussion regarding single-family design, variations ad bulk regulations ensued.

Member Deegan commented on his experience with out of state code requirements and noted that is a significant upfront cost to the owners. He also expressed his preference to serve on any Board that will be addressing the issue.

Member Russ stated the ABR should identify any problems before discussing an issue.

Member Dahlmann expressed his agreement with review of the taller homes and for the possibility of building two homes on a demolition single family lot.

Member Russ expressed her opinion restricting two lot subdivisions could be an issue for retirees who are counting on the investment return on their home. She stated due to the current market waiting the length of time it typically takes to revise an ordinance is not feasible.

Building Codes Supervisor Croak stated the Village Board is requesting feedback regarding the way-finding signage proposed by Target for along the bike path parallel to IL Rt. 176. The purpose of the signage is to make people aware of the downtown businesses.

Member Dahlmann expressed his opinion the signage would serve no purpose.

Member Russ recommended the purposed signage have important contact information and links to various other services offered in Lake Bluff.

Member Rappin said there is a strategic needed to inform people, who would never venture to the east side of Lake Bluff, about the businesses there; however, the proposed execution needs revision. He suggested an illustration of the historic business district.

8. Adjournment

There being no further business to consider, Member Rappin moved to adjourn the meeting. Member Dahlmann seconded the motion. The motion passed on a unanimous voice vote.

The meeting adjourned at 9:25 p.m.

Respectfully submitted,

Mike Croak, CBO, CBCO
Building Codes Supervisor

**VILLAGE OF LAKE BLUFF
ARCHITECTURAL BOARD OF REVIEW
SPECIAL MEETING
JUNE 11, 2015**

DRAFT MINUTES

1. Call to Order and Roll Call

The special meeting of the Architectural Board of Review (ABR) of the Village of Lake Bluff was called to order on June 2, 2015 at 7:02 p.m. in the Village Hall Board Room (40 E. Center Avenue) and the following were present.

Present: Ed Deegan
 Steve Rappin
 Carol Russ
 John Sorenson
 Bob Hunter, Chair

Absent: Neil Dahlmann, Member
 Matthew Kerouac, Member

Also Present: Mike Croak, Building Codes Supervisor

2. A Public Hearing to Consider a Site Plan to Review Changes to the Parking Lot at 101 Waukegan Road

Chair Hunter opened the public hearing.

Mr. Roger Heerema of Wright Heerema Architects presented the revised site plan and explained the revisions to the proposed parking lot and the landscape plans.

He also noted their intent to install additional aisles in the northern parking lot and landscaping at the main entrance. He further stated as a result of the concern expressed by the ABR, the proposed plans includes landscape enhancements along the eastern property line to better establish the border and provide screening for the parking lot.

Following a comment from the Member Rappin, Mr. Rogers explained how the area was reconfigured to include the eight additional parking space and landscape improvements.

Members Russ, Sorenson, and Deegan expressed their appreciation for the revised landscape plan.

Building Codes Supervisor Mike Croak stated the PCZBA has made a recommendation to the Village Board and should the ABR vote in favor of the proposed plans both recommendations will be forwarded to the Village Board for consideration.

Member Russ inquired of the proposed crosswalk. Mr. Rogers reviewed the PCZBA recommendations regarding the construction of the proposed crosswalk.

Chair Hunter expressed his agreement with the landscaping for the northern side of the building. He commented on the elevation changes for the east side of the building and asked how the landscaping would be done. Mr. Rogers stated landscaping for the east side would be placed in the 10 ft. of space between the curb and the property line. A discussion ensued regarding the proposed landscaping.

Member Rappin moved to recommend Village Board approval of the proposed modifications to the parking lot. Member Russ seconded the motion. The motion passed on a unanimous voice vote.

3. Staff Report

Building Codes Supervisor Croak provided an updated on the Target Development outlot buildings.

Building Codes Supervisor Croak stated there will be a discussion of the single family review by the ABR on the next agenda and he will provided single family design guidelines from the various communities to the ABR. Lastly, he advised the next regular meeting is scheduled for July 7th.

4. Adjournment

The meeting adjourned at 7:28 p.m.

Respectfully submitted,

Mike Croak, CBO, CBCO
Building Codes Supervisor

VILLAGE OF LAKE BLUFF

Memorandum

TO: Chairman Hunter and Members of the Architectural Board of Review

FROM: Mike Croak, Building Codes Supervisor

DATE: July 2, 2015

SUBJECT: **Agenda Item #4 – A Public Hearing to Consider a Site Plan to Review Changes to the Stairs, Landings, and Ramp at Sunrise Park**

On June 23, 2015, the Lake Bluff Park District submitted an application for Architectural Review for Sunrise Park. They are proposing to replace two staircases, widen the landing in front of the north shelter, and add a ramp down to the beach. The proposed improvements will bring these structures into compliance with the Building Code and the Americans with Disabilities Act.

Currently, Sunrise Park and other Lake Bluff Parks are neither a permitted use according to the Zoning Ordinance nor part of a Special Use Permit. The Park District intends to rectify this by applying for a Special Use Permit for Sunrise Park and Artesian Park in conjunction with future improvements at Artesian Park.

Recommendation:

It is recommended the ABR conduct a public hearing to consider the modifications to the site plan, appropriately question the Petitioner as needed, entertain public comments and questions from the petitioner and make one of the following recommendations regarding the site plan:

- Recommend that the Village Board approve the proposed site plan as presented or with conditions;
- Recommend that the Village Board deny the proposed site plan; or
- Request the petitioner to provide additional information for the ABR's consideration.

Ron Salski, Executive Director of the Park District, will be in attendance at Tuesday's meeting to respond to questions from the ABR. If you should have any questions regarding this matter, please feel free to contact me at 847-283-6885.



LAKE BLUFF PARK DISTRICT

355 W. WASHINGTON AVENUE * LAKE BLUFF, ILLINOIS 60044
Phone (847) 234-4150

June 22, 2015

Chairman Bob Hunter
Village of Lake Bluff
Architecture Board of Review
40 E. Center Avenue
Lake Bluff, IL 60044

Dear Chairman Bob Hunter:

The Park District would like to thank the Architecture Board of Review for considering our application for the replacement of two stairways at Sunrise Park and Beach and improvements to the concrete walkway in front of the North Shelter. The stairways and walkway are being replaced as they do not meet current building code and accessibility requirements. The improvements are planned to be in compliance with the federally mandated Americans with Disabilities Act.

The Park District anticipates beginning construction in September, 2015. The details are below:

- Two stairways, upper and lower, will be replaced. The upper stairway, adjacent to the access road and beach attendant, is one location and the lower staircase, adjacent to bath house and bathrooms, is the second location.
- The stairways will be constructed utilizing pressure treated cedar wood lumber, which will blend with the natural landscape.
- Metal handrails will be provided on both stairways as required by building and accessibility codes.
- The Park District located the lower stairway so no trees will be removed and/or impacted.
- No additional lighting will be added to the stairways.
- The North Shelter accessibility improvements slightly widen the area in front of the shelter allowing for an accessible path for wheelchair access. A small ramp will also be constructed on the south side of the shelter.

Once again, thank you for considering the Park District application and if you have any questions, please do not hesitate to contact me at 847-234-4150 x 18.

Sincerely,



Ron Salski
Executive Director

cc: Park District Board of Commissioners

**APPLICATION FOR ARCHITECTURAL REVIEW
VILLAGE OF LAKE BLUFF, ILLINOIS
SITE PLAN APPROVAL**

Applicant:	Lake Bluff Park District
Mailing Address:	355 W. Washington Avenue, Lake Bluff, IL
Location of project:	455 E. Sunrise, Lake Bluff - Sunrise Park & Beach
Telephone:	847-234-4150 x 18
E-Mail Address:	rsalski@lakebluffparkdistrict.org
Contact Individual for Project:	Ron Salski

APPLICATION REQUIREMENTS

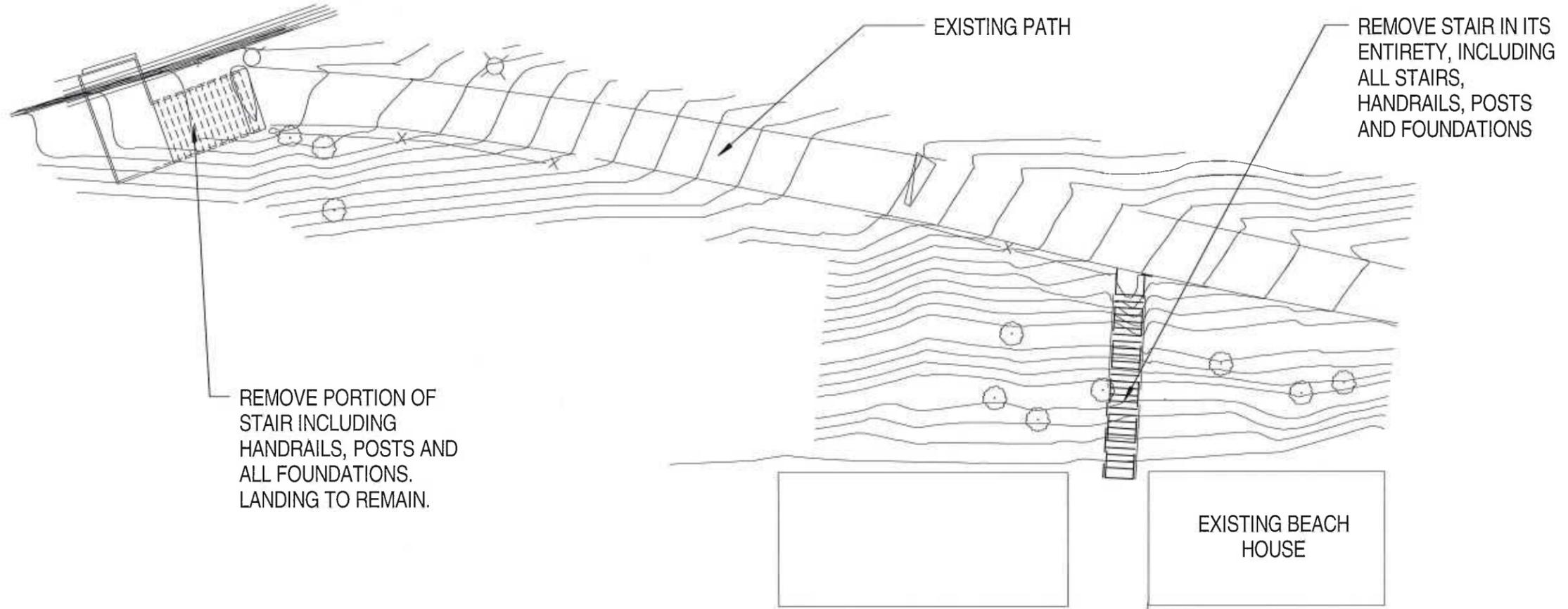
Any applicant seeking site plan approval shall submit to the Village Administrator, or his or her designee, 13 copies of each of the following documents listed below plus a non-refundable application fee of \$300.00 (see current fee schedule) plus an amount determined by the Village Administrator to reimburse the Village for all anticipated out of pocket expenses incurred in connection with the delivery of notice pursuant to this section.

- ❑ **A survey** showing existing conditions including buildings, structures, trees over four inches in trunk diameter, streets, utility easements, rights-of-way, land use, and other data required by the Lake Bluff Subdivision Ordinance.
- ❑ **A site plan** showing proposed building locations and land use areas, sidewalks, pedestrian walks, parking lot and walkway lighting, signage, and site plan amenities. The location of garbage and refuse collection points, mail pick-up points, and loading areas shall also be specified.
- ❑ **A vehicle and traffic parking plan** for access location, access geometric, onsite traffic circulation and parking areas.
- ❑ Preliminary drawings for buildings to be constructed, including floor plans, exterior elevations and sections, building materials, and a color, three dimensional rendering thereof.
- ❑ **Preliminary engineering plans** and engineering feasibility studies including: lighting; street improvements; drainage system; sewer system; and Public utility extensions. All requirements of the Lake Bluff Subdivision Ordinance must be fully complied with, including but not limited to construction of underground electrical and telephone service.

- **Preliminary landscape plans**, including site grading, irrigation, and landscaping design.

- **Streetscape elevation plans** with regard to property in the CBD or R-5 district showing elevations for neighboring buildings and structures.

NOTICE: All Materials must be received by the Village at least 20 days prior to the meeting date. The applicant/Architect or their designee must attend the review meeting. The Architectural Board of Review generally meets the first Tuesday of each month.

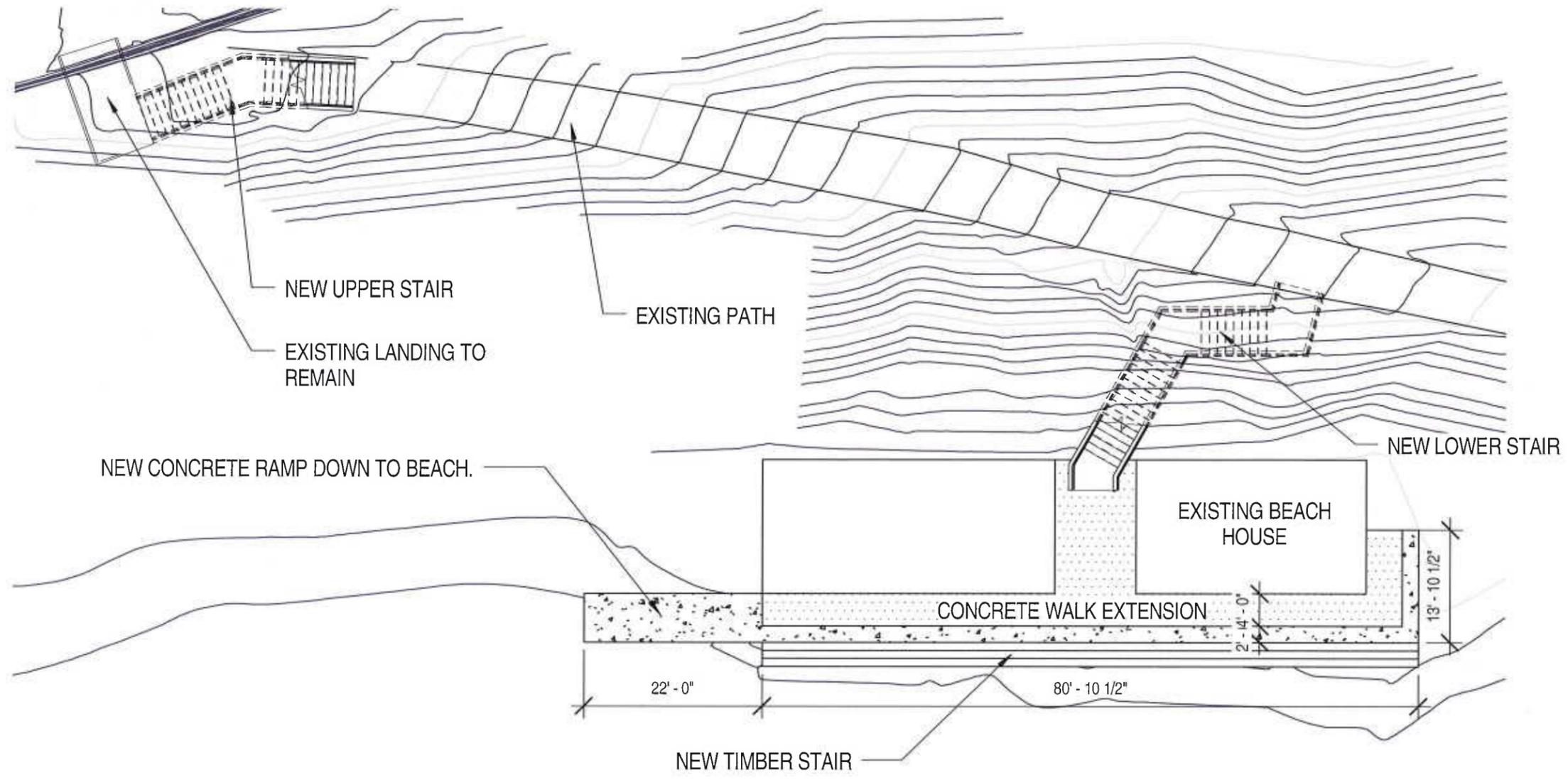


1

EXISTING STAIR PLAN

1/16" = 1'-0"

PROJECT	LAKE BLUFF AND SUNRISE BEACH RENOVATIONS		TITLE		EXISTING SUNRISE BEACH STAIR PLAN	
	FGM ARCHITECTS CHICAGO OAK BROOK OF FALLON		DRAWN DP	DATE 06/22/15	SHEET NO. A-1	ISSUED AS ZONING
PROFESSIONAL DESIGN FIRM - IL # 184-000350		APPROVED DP	JOB NO. 16-1966.01			



1

PROPOSED STAIR PLAN

1/16" = 1'-0"

© 2015 FGM Architects Inc.

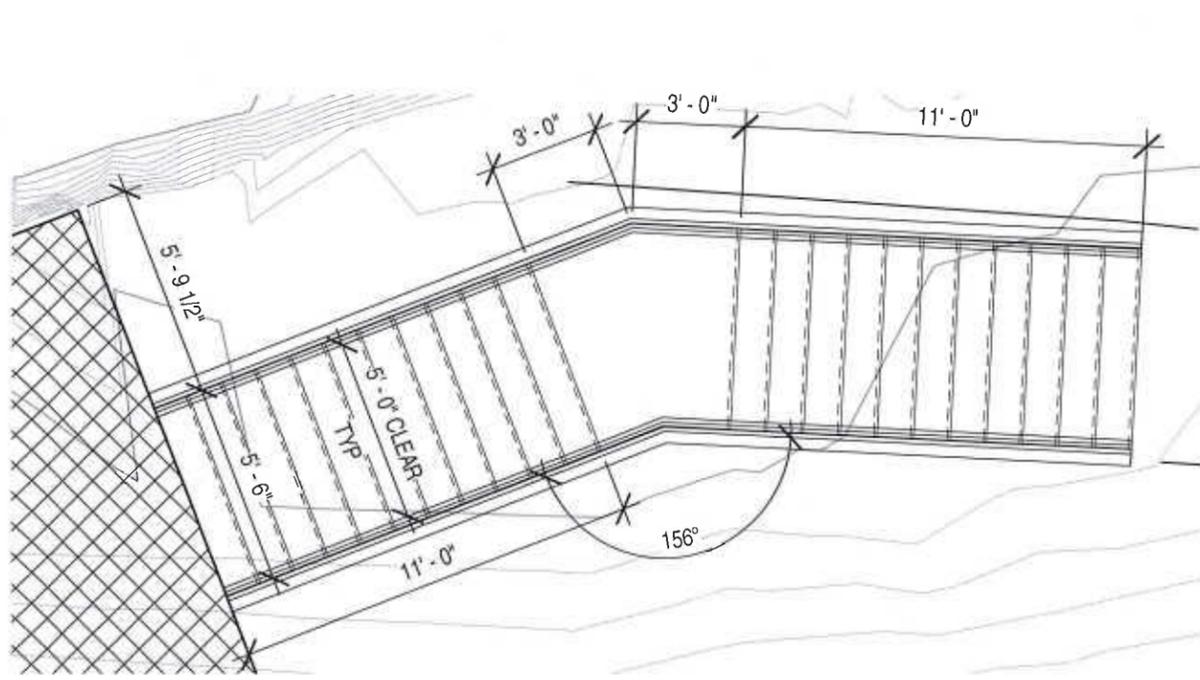
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	TITLE PROPOSED SUNRISE BEACH STAIR PLAN		DATE 06/22/15	SHEET NO. A-2
	DRAWN DP	APPROVED DP	JOB NO. 15-1966.01	ISSUED AS ZONING
	PROFESSIONAL DESIGN FIRM - IL # 184-000350			



1

UPPER STAIR PLAN

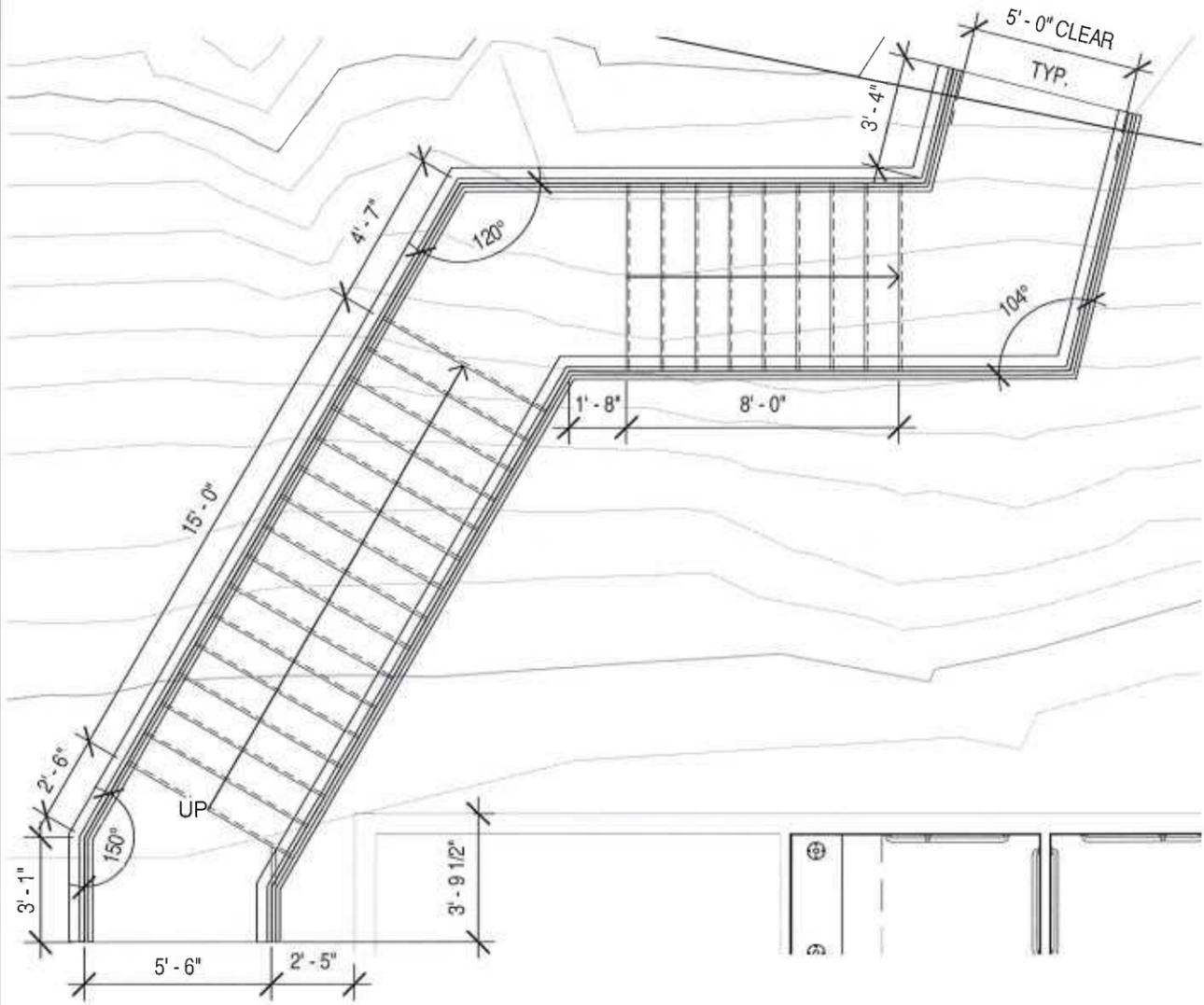
1:60



2

LOWER STAIR PLAN

1:60



PROJECT

LAKE BLUFF AND SUNRISE
BEACH RENOVATIONS

FGM ARCHITECTS
CHICAGO OAK BROOK OF FALLON

PROFESSIONAL DESIGN FIRM - IL # 184-000350

TITLE PROPOSED STAIR DIMENSIONS

DRAWN

DP

APPROVED

DP

DATE

06/22/15

JOB NO.

15-1966.01

SHEET NO.

A-3

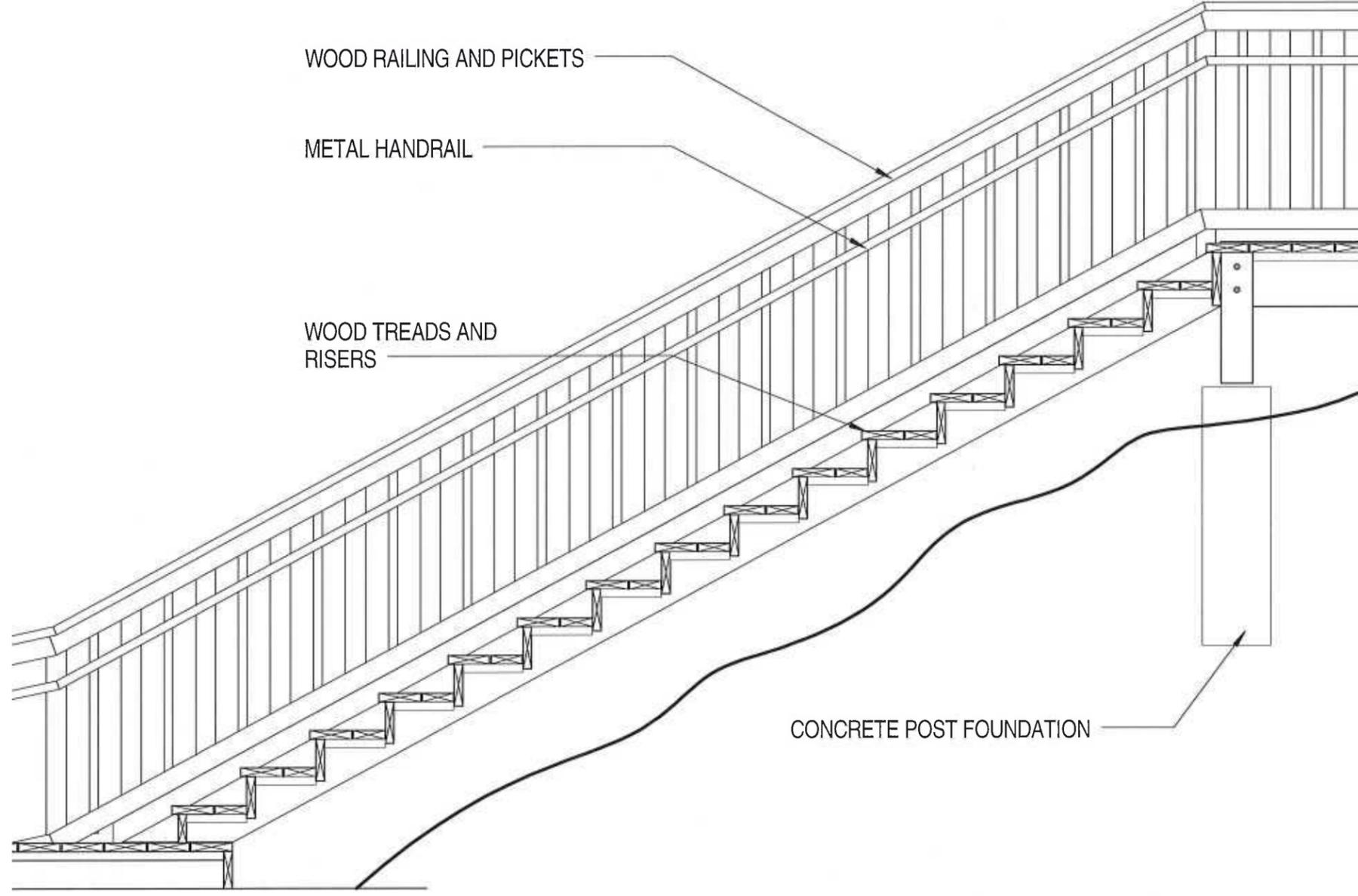
ISSUED AS

ZONING

1

TYPICAL ELEVATION

1/2" = 1'-0"



TITLE **PROPOSED STAIR ELEVATION**

**LAKE BLUFF AND SUNRISE
BEACH RENOVATIONS**

PROJECT

FGM ARCHITECTS
CHICAGO OAK BROOK OF FALLON

DRAWN
DP

DATE
06/22/15

SHEET NO.
A-4

APPROVED
DP

JOB NO.
15-1966.01

ISSUED AS
ZONING

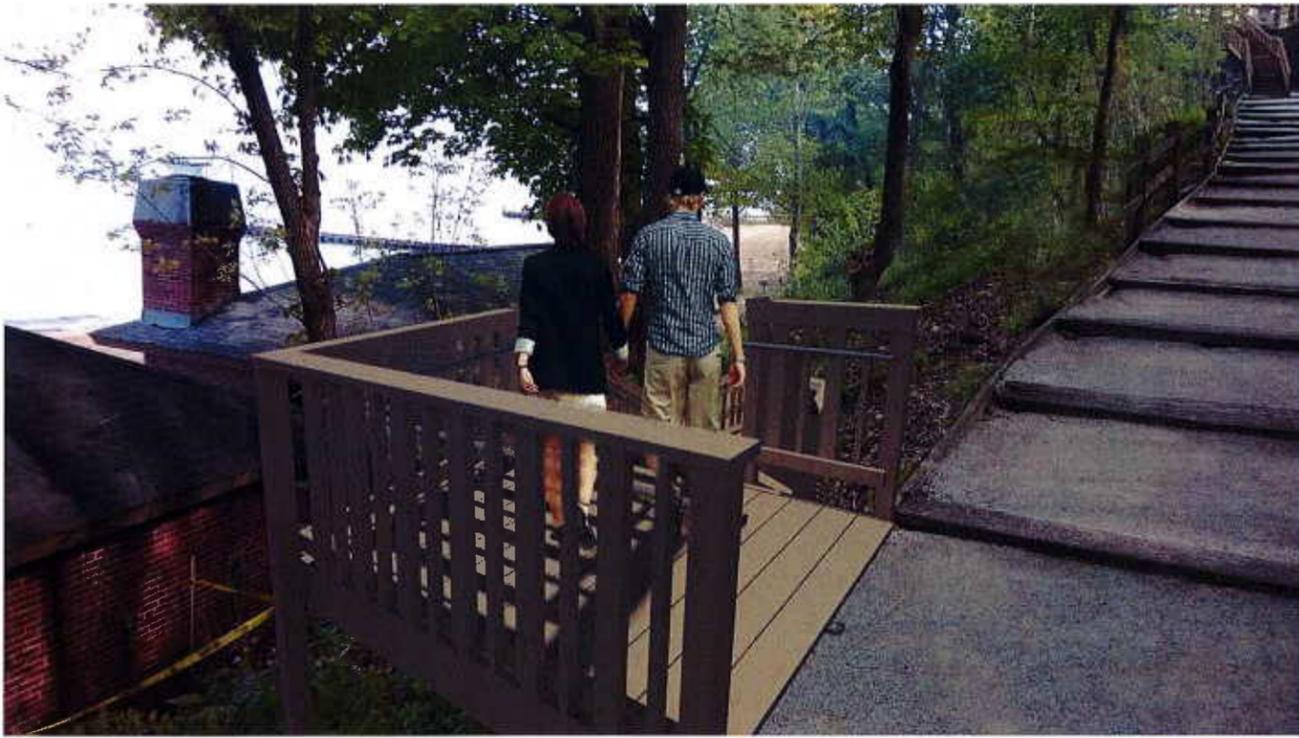
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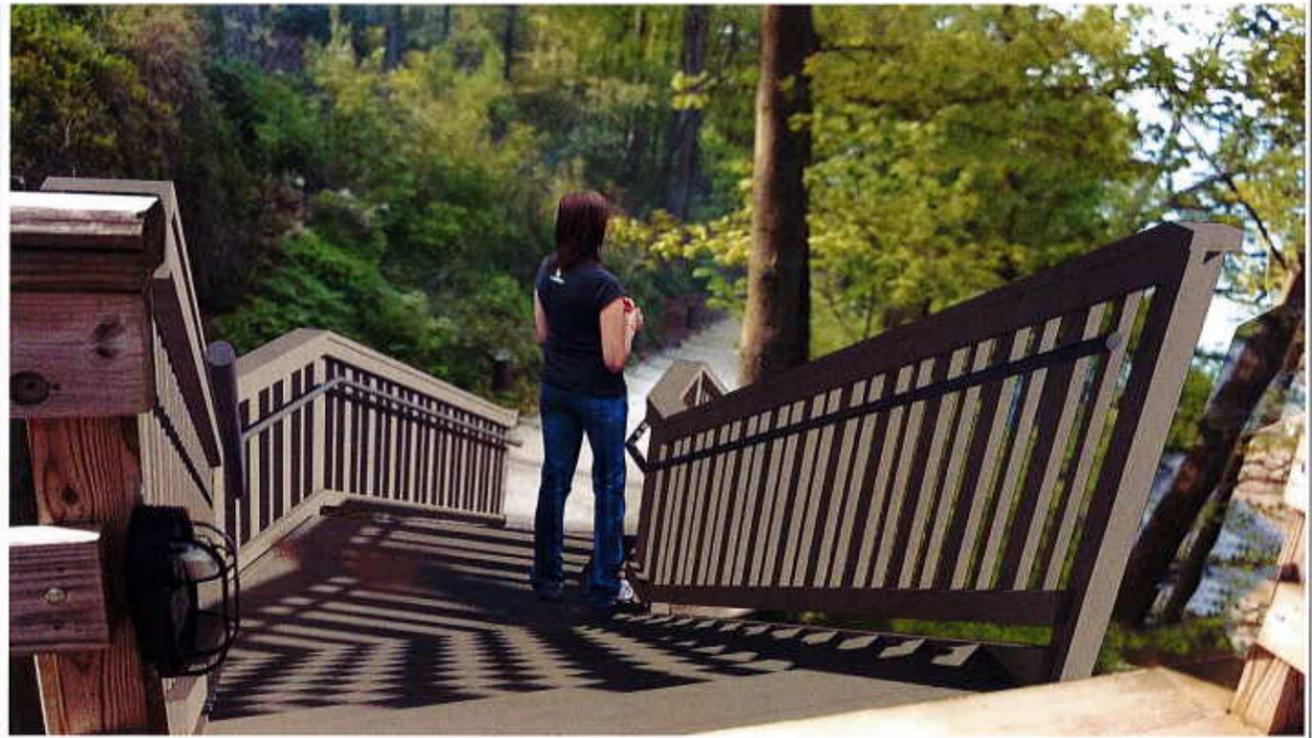
LOWER STAIR DOWN TO BEACH HOUSE



LOWER STAIR FROM BEACH HOUSE



LOWER STAIR DOWN TO BEACH HOUSE



UPPER STAIR DOWN TO PATH

TITLE **PROPOSED STAIR RENDERINGS**

DRAWN
DP

DATE
06/22/15

SHEET NO.
A-5

APPROVED
DP

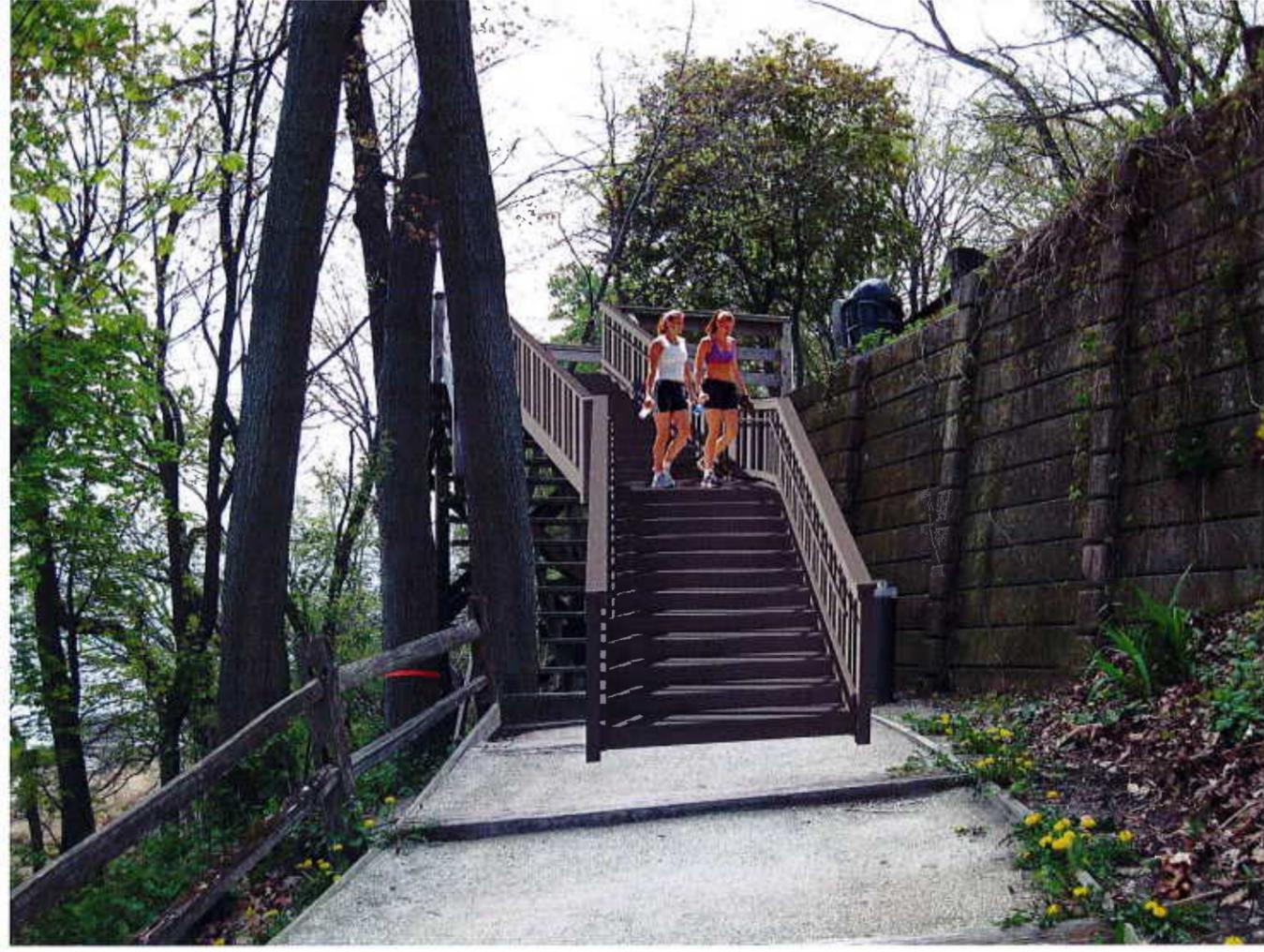
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15-1966.01

ISSUED AS
ZONING

PROJECT
**LAKE BLUFF AND SUNRISE
BEACH RENOVATIONS**

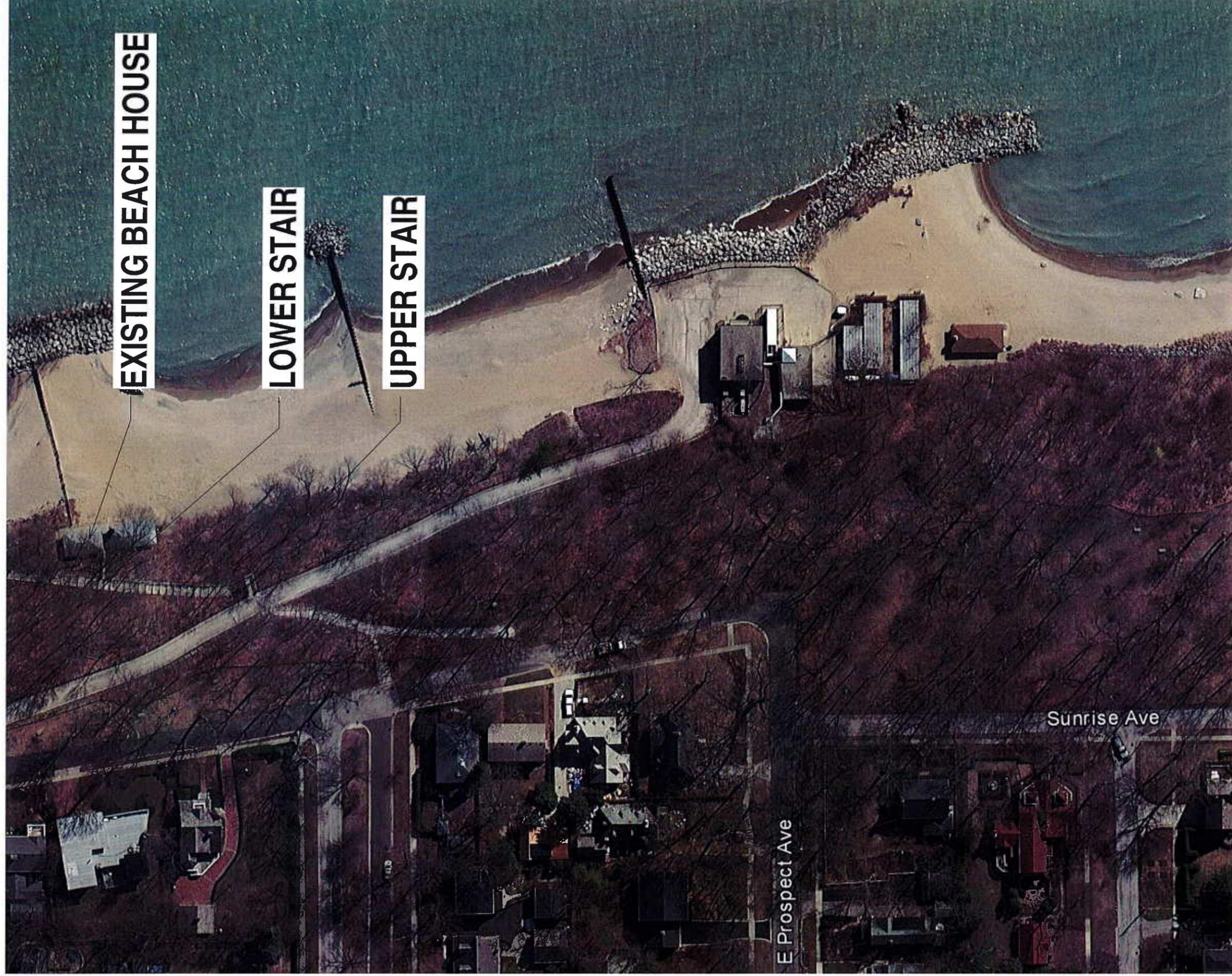
FGM ARCHITECTS
CHICAGO
OAK BROOK
OF FALLON

PROFESSIONAL DESIGN FIRM - IL # 184-000350



UPPER STAIR TO ENTRANCE DRIVE

PROJECT	LAKE BLUFF AND SUNRISE BEACH RENOVATIONS		TITLE		PROPOSED STAIR RENDERINGS	
	FGM ARCHITECTS <small>CHICAGO</small> <small>OAK BROOK</small> <small>OF FALLON</small>		DRAWN DP	DATE 06/22/15	SHEET NO. A-6	ISSUED AS ZONING
PROFESSIONAL DESIGN FIRM - IL # 184-000350		APPROVED DP	JOB NO. 15-1966.01			



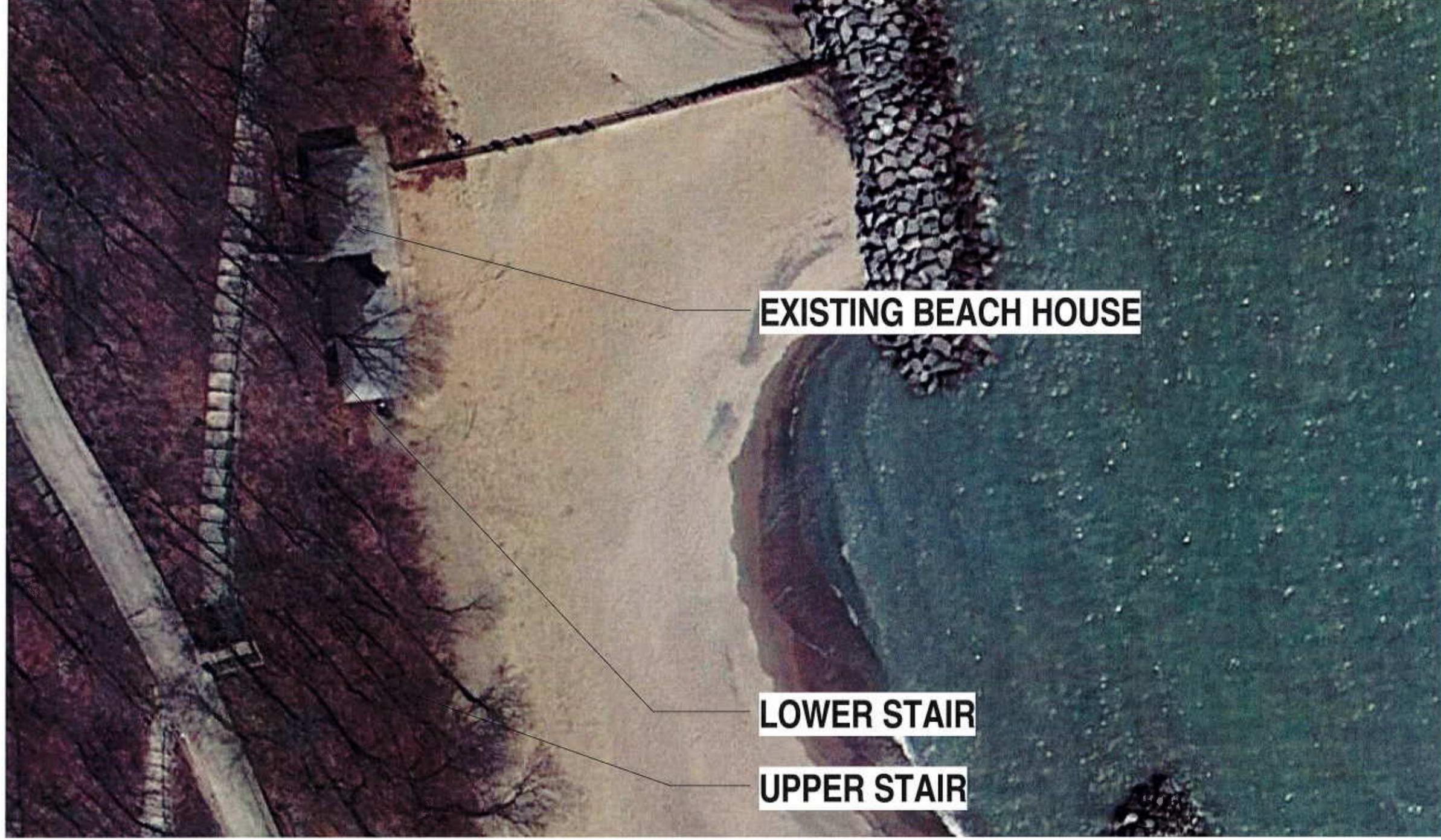
1 | **AERIAL**
1" = 50'-0"

PROJECT	LAKE BLUFF AND SUNRISE BEACH RENOVATIONS		TITLE	AERIAL	
	FGM ARCHITECTS <small>CHICAGO</small>		DRAWN	DATE	SHEET NO.
	OAK BROOK		DP	06/22/15	A-7
	OF FALLON		APPROVED	JOB NO.	ISSUED AS
	PROFESSIONAL DESIGN FIRM - IL # 184-000350		DP	15-1966.01	ZONING

1

AERIAL

1" = 20'-0"



PROJECT

**LAKE BLUFF AND SUNRISE
BEACH RENOVATIONS**

FGM ARCHITECTS
CHICAGO OAK BROOK OF FALLON

PROFESSIONAL DESIGN FIRM - IL # 184-000350

TITLE **AERIAL**

DRAWN
DP

DATE
06/22/15

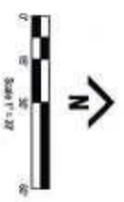
SHEET NO.
A-8

APPROVED
DP

JOB NO.
15-1966.01

ISSUED AS
ZONING

SUNRISE BEACH LAKE BLUFF, ILLINOIS



LEGEND

	MANHOLE
	STORM INLET
	STORM CATCH BASIN
	SPOT ELEVATION
	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	THREE LOCATION / SIZE / TAG NUMBER
	1' CONTOUR
	2' CONTOUR
	EDGE OF PAVEMENT, DRIVE, OR TRAVELED WAY
	FENCE
	GAS MAIN
	GAS VALVE
	SPRINKLER SYSTEM
	FIRE HYDRANT
	VALVE BOX
	METER VAULT
	VALVE VAULT
	CURB STOP & BOX
	UTILITY POLE
	STREET LIGHT
	ELECTRICAL TRANSFORMER
	TELEPHONE PEDESTAL
	UTILITY BOX

SUNRISE BEACH LAKE BLUFF, ILLINOIS



LAKE MICHIGAN

JOB# 60-767

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
 1175 North Western Avenue
 Lake Forest, Illinois 60045
 T 847.295.5000 F 847.295.7001
 www.bleckeng.com

VILLAGE OF LAKE BLUFF

Memorandum

TO: Chairman Hunter and Members of the Architectural Board of Review

FROM: Mike Croak, Building Codes Supervisor

DATE: July 2, 2015

SUBJECT: **Agenda Item #5 – A Public Hearing to Consider a Site Plan to Review Changes to the Façade of Inovasi Restaurant at 28 E Center Avenue**

On June 29, 2015, an application for Architectural Review was submitted for the relocation of the front door of Inovasi Restaurant. The door is proposed to be moved farther east, where there is room for an interior vestibule. The existing door will be re-used and other materials and colors will match the existing building.

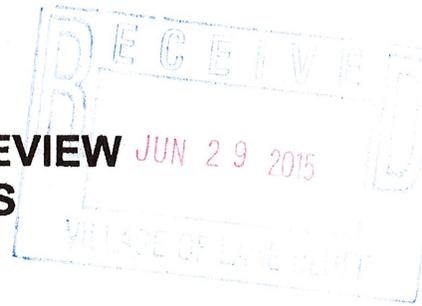
Recommendation:

It is recommended the ABR conduct a public hearing to consider the modifications to the site plan, appropriately question the Petitioner as needed, entertain public comments and questions from the petitioner and make one of the following recommendations regarding the site plan:

- Recommend that the Village Board approve the proposed site plan as presented or with conditions;
- Recommend that the Village Board deny the proposed site plan; or
- Request the petitioner to provide additional information for the ABR's consideration.

Ron Oesterlein of Central Avenue Partners will be in attendance at Tuesday's meeting to respond to questions from the ABR. If you should have any questions regarding this matter, please feel free to contact me at 847-283-6885.

**APPLICATION FOR ARCHITECTURAL REVIEW
VILLAGE OF LAKE BLUFF, ILLINOIS
SITE PLAN APPROVAL**



Applicant:	INOVASI RESTAURANTS LLC
Mailing Address:	28 E CENTER AVE
Location of project:	28 E CENTER AVENUE
Telephone:	847 361 6210
E-Mail Address:	RON @ oesterlein.com
Contact Individual for Project:	RON Oesterlein

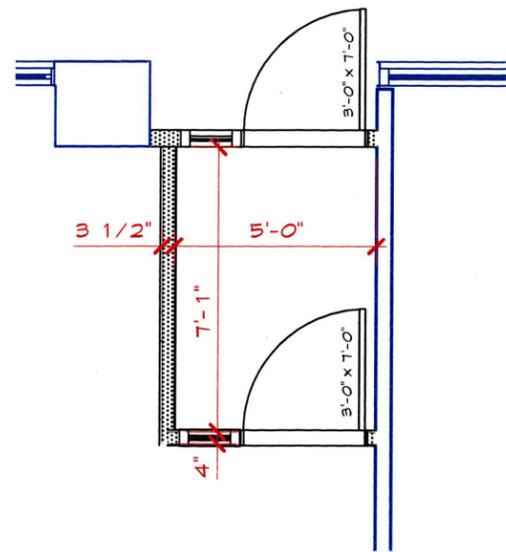
APPLICATION REQUIREMENTS

Any applicant seeking site plan approval shall submit to the Village Administrator, or his or her designee, 13 copies of each of the following documents listed below plus a non-refundable application fee of \$300.00 (see current fee schedule) plus an amount determined by the Village Administrator to reimburse the Village for all anticipated out of pocket expenses incurred in connection with the delivery of notice pursuant to this section.

- **A survey** showing existing conditions including buildings, structures, trees over four inches in trunk diameter, streets, utility easements, rights-of-way, land use, and other data required by the Lake Bluff Subdivision Ordinance.
- **A site plan** showing proposed building locations and land use areas, sidewalks, pedestrian walks, parking lot and walkway lighting, signage, and site plan amenities. The location of garbage and refuse collection points, mail pick-up points, and loading areas shall also be specified.
- **A vehicle and traffic parking plan** for access location, access geometric, onsite traffic circulation and parking areas.
- Preliminary drawings for buildings to be constructed, including floor plans, exterior elevations and sections, building materials, and a color, three dimensional rendering thereof.
- **Preliminary engineering plans** and engineering feasibility studies including: lighting: street improvements; drainage system; sewer system; and Public utility extensions. All requirements of the Lake Bluff Subdivision Ordinance must be fully complied with, including but not limited to construction of underground electrical and telephone service.



Existing North Elevations
1/8" = 1'-0"



1 Vestibule Plan Detail
1/4" = 1'-0"



Proposed North Elevations
1/8" = 1'-0"

Proposed Work

Proposed Work

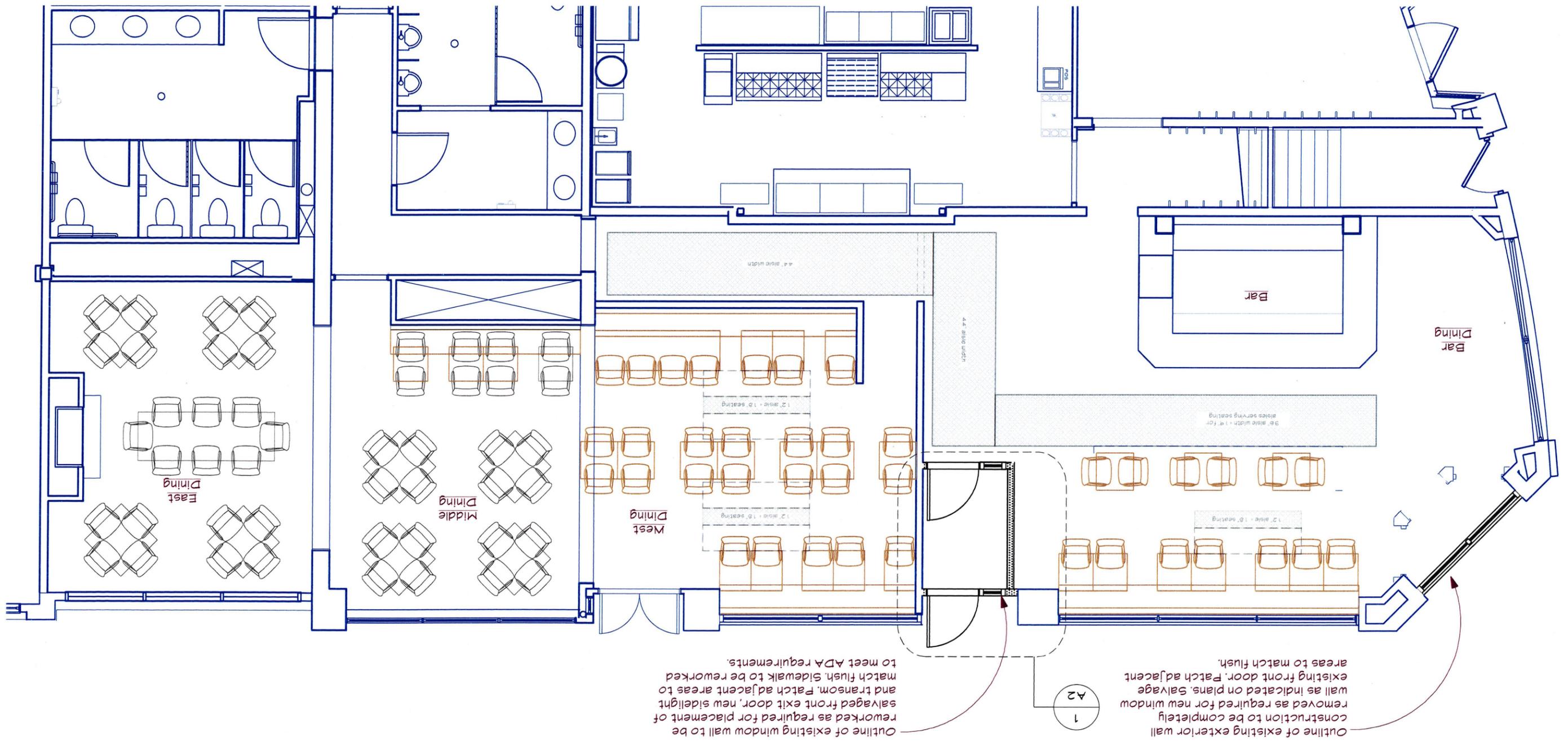
Proposed Work



Exterior Elevations

First Floor Plan
3/16" = 1'-0"

First Floor Plan



Outline of existing exterior wall construction to be completely removed as required for new window wall as indicated on plans. Salvage existing front door. Patch adjacent areas to match flush.

Outline of existing window wall to be reworked as required for placement of salvaged front exit door, new sidelight and transom. Patch adjacent areas to match flush. Sidelight to be reworked to meet ADA requirements.

1
A2

VILLAGE OF LAKE BLUFF

Memorandum

TO: Chairman Hunter and Members of the Architectural Board of Review

FROM: Mike Croak, Building Codes Supervisor

DATE: July 2, 2015

SUBJECT: **Agenda Item #6 – Consideration of a Sign Permit Application for Starbucks at 975 Rockland Road.**

There will be a Starbucks coffee shop inside the Target store. A 2' diameter internally illuminated Starbucks logo has been placed in the window to the left of the main entrance. This sign was not included in the previously approved sign package.

The Sign Code's definition of a window sign includes a sign which is "placed inside a window so as to be visible from the exterior of the building or structure in which the window is located." Window signs are not permitted in the L-1 or L-2 zoning districts; therefore, an exemption from the code is requested.

The following is a chart summarizing the measurements of the proposed signs:

Sign Code (L-1)	Proposed Signage
3) Window signs not permitted in the L-2	Exemption Required

Recommendation:

The ABR has the authority to:

- Recommend the Village Board grant or deny an exemption from the Sign Code regulations for the signage as presented;
- Approve a sign permit (with conditions) that complies with all Code regulations; or
- Deny the sign permit.

The petitioner will be in attendance at Tuesday's meeting to respond to questions from the ABR. If you should have any questions regarding this matter, please feel free to contact me at 847-283-6885.

**APPLICATION AND SIGN PERMIT
LAKE BLUFF, ILLINOIS**

PERMANENT AND TEMPORARY SIGNS

Applicant:	ERNIE DiFIORE MODERN SIGNS INC
Mailing Address:	1727 ARMITAGE CT ADDISON IL 60101
Telephone:	630-495-1725
Proposed Sign Location:	TARGET 930 CARRIAGE PARK LANE
Permanent or Temporary Sign:	PERMANENT
Type of Sign (window, wall, ground etc.):	WINDOW
Sign Company - Name and Phone:	MODERN SIGNS INC 630-495-1725
Contact Individual Regarding Project:	ERNIE DiFIORE

APPLICATION REQUIREMENTS

Permanent Signs Requiring Approval by the Architectural Board of Review or the Village Board

- A scaled drawing showing the lot and building(s) and structure(s) to which the sign(s) is/are to be attached or erected. The exact position of the sign(s) must be noted on the drawing, including the height of sign above grade, as applicable
- A scaled drawing or plan of the sign(s) showing construction details for the sign(s) including all dimensions including; letter sizes and styles, foundation and/or mounting materials, and sign height and width.
- A concise description of the construction materials and colors of all sign components.
- A detail of type and intensity of any lighting or illumination.
- Thirteen (13) copies are required if the proposal is in color and/or larger than 11x17.

Temporary Signs Requiring Approval by the Village Administrator

- A description of the location of the sign.
- A date when the sign will be erected and when it will be removed.
- A description of the type of sign, the sign materials and the sign size (lighting of temporary signs is prohibited).

NOTICE: Upon receipt of a completed application, including all related drawings and materials, a review date will be provided. The applicant or their designee must attend the review meeting. The Architectural Board of Review generally meets the first Tuesday of each month.

A fee of \$150.00 shall be charged for all permanent sign permit applications. The fee shall be paid at the time of application. Checks should be made payable to the Village of Lake Bluff.

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707 West Spring Garden Street
Palmyra, New Jersey 08065

Phone: 856.829.1460
Fax: 856.829.8549
www.philadelphiasign.com

CUSTOMER:

TARGET

JOB NUMBER:

T2860

SIGN TYPE:

LAKE BLUFF IL

LOCATION:

930 Carriage Park Ave
Lake Bluff, IL

DATE:

11-01-13

DRAWN BY:

JMG

REVISION:

Number: 3 Date: 06/23/2015 By: JTR

SHEET:

ENG DEPT

12 OF 12

DWG NUMBER:

B51755

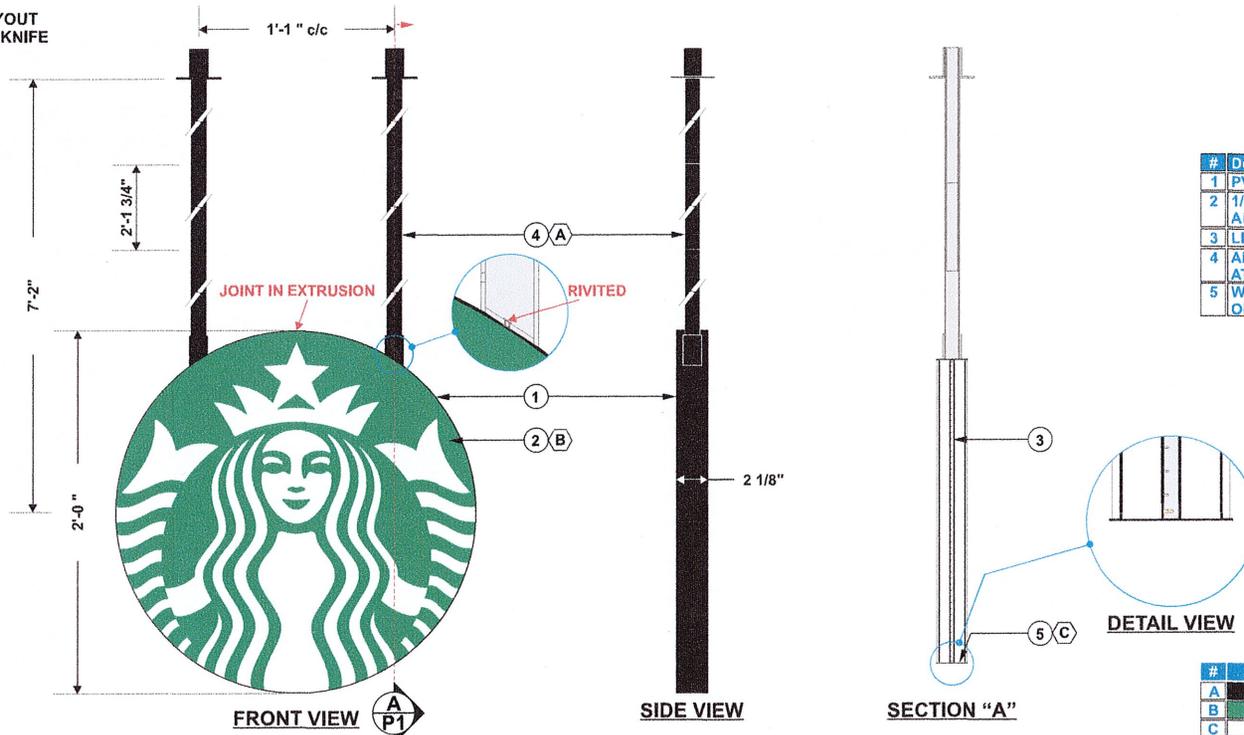
ENGINEER SEAL:

MAX DESIGN WIND SPEED 90 MPH
EXPOSURE C

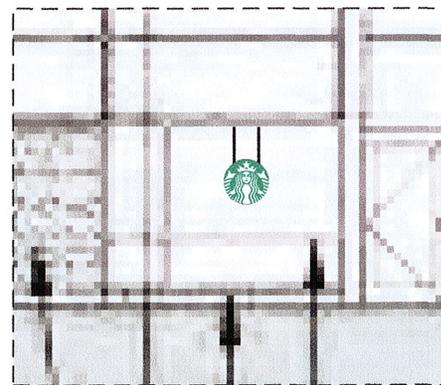
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REPRODUCED, OR EXHIBITED IN ANY FASHION.

#	Descriptions:
1	PVC "SNAP-IN" EXTRUSION #48-3608
2	1/8" WHITE #2447 ACRYLIC FACE WITH VINYL APPLIED TO FIRST SURFACE
3	LIGHT PAD #EPSG-24C-1
4	ADJUSTABLE ATTACHMENT EI01-11000-001 ATTACHED TO CABINET WITH RIVETS
5	WHITE VINYL APPLIED TO CABINET INTERIOR ON EITHER SIDE OF LIGHT PAD

#	Colors:
A	POWDER COATED N05-E564N4
B	GREEN VINYL 3630-76
C	WHITE VINYL #7725-10



SIGN "K"



STOREFRONT ELEVATION
SCALE: 3/16" = 1' 0"

NOTE: Starbuck Sign Provided By Others.

Electrical Load
2'-0" Starbucks Logo
0.25 Amps @ 120 Volts
Electrical Req'mts
(1) 20 Amp/120 Volt Circuits

STANDARD WALL SIGN NOTES:

1. Sufficient Primary Circuit In Vicinity Of Sign By Others.
2. Final Primary Hook-up By Sign Installer, Where Allowed By Local Codes.
3. Sign Shall Be U.L. Listed.
4. Mounting Hardware By Sign Installer.
5. This Sign has been Designed with the Criteria as set forth in the IBC 2012. The Design Meets or Exceeds those Requirements for the Geographical Location in Which it is to be Erected.

Note: This sign is intended to be installed in accordance with the requirements of Article 600 of the 2011 National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



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707 West Spring Garden Street
Palmyra, New Jersey 08065

Phone: 856.829.1460
Fax: 856.829.8549
www.philadelphiasign.com

CUSTOMER:

TARGET

JOB NUMBER:

T2860

SIGN TYPE:

LAKE BLUFF IL

LOCATION:

930 Carriage Park Ave
Lake Bluff, IL

DATE:

11-01-13

DRAWN BY:

JMG

REVISION:

Number: Date: By:
3 06/23/2015 JTR

SHEET:

ENG DEPT

7 OF 12

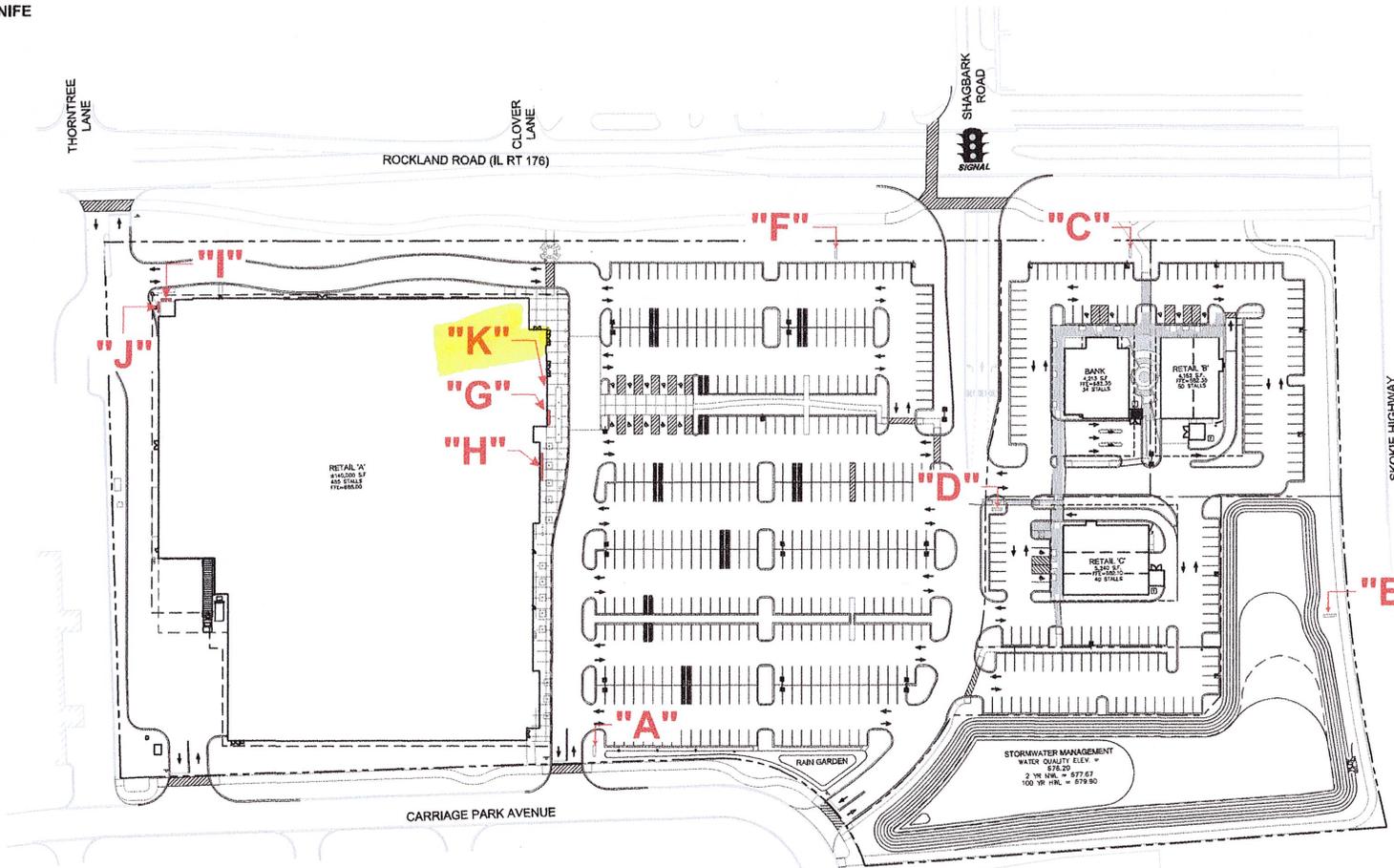
DWG NUMBER:

B51755

ENGINEER SEAL:

MAX DESIGN WIND SPEED 90 MPH
EXPOSURE C

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CREATED BY PSCD. IT IS SUBMITTED FOR YOUR
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REPRODUCED, OR EXHIBITED IN ANY FASHION.



SIGNAGE KEY

- "A" 4'W x 6'H
TARGET MONUMENT SIGN 1
- "B" EXISTING
TARGET MONUMENT SIGN
- "C" 8'W x 6'H
OUTPARCEL MONUMENT SIGN 1
- "D" 8'W x 6'H
OUTPARCEL MONUMENT SIGN 2
- "E" 12'W x 24'H
PRESTANDING TARGET / OUTPARCEL
BLADE SIGN WITH TARGET SQUARE
AND 3 TENANT PANELS
- "F" 11'W x 20'H
PRESTANDING TARGET BLADE
SIGN WITH TARGET SQUARE
AND 6 TENANT PANELS



Note: This sign is intended to be installed in accordance with the requirements of Article 600 of the 2011 National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



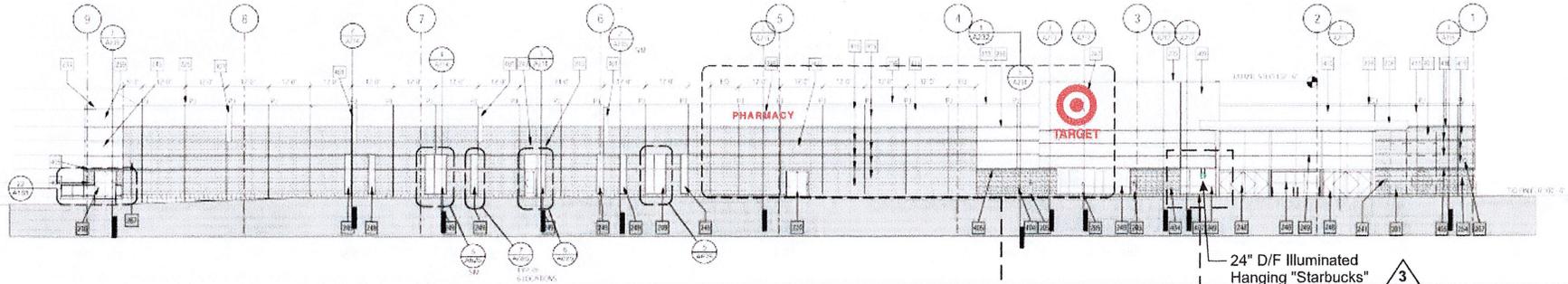
ENGINEERING
SHOP
VINYL / LAYOUT
ROUTING / KNIFE

**PERMITS
ONLY**

SIGN "H"

SIGN "G"

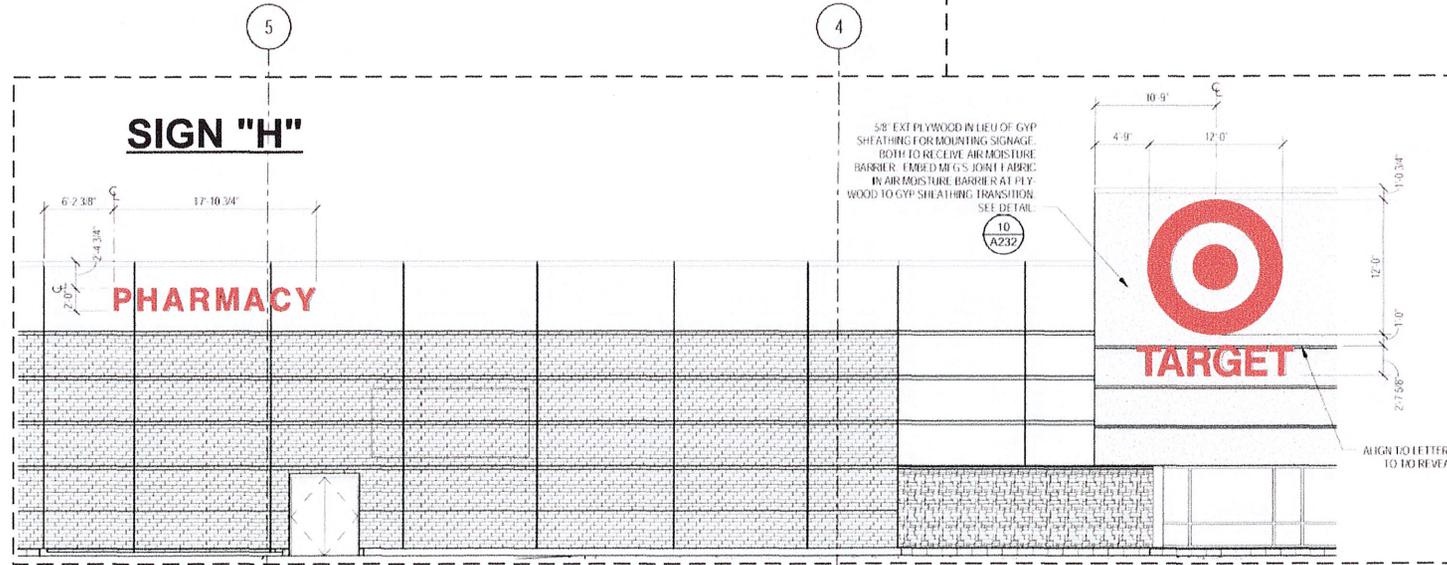
SIGN "K"



FRONT ELEVATION
SCALE: 1/32" = 1' 0"

DETAIL SEE PAGE 12

24" D/F Illuminated
Hanging "Starbucks"
Sign.



EXTERIOR SIGNAGE ELEVATION
SCALE: 3/32" = 1' 0"

SIGN "G"

Note: This sign is intended to be installed in accordance with the requirements of Article 600 of the 2011 National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



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Palmyra, New Jersey 08065
Phone: 856.829.1460
Fax: 856.829.8549
www.philadelphiasign.com

CUSTOMER:
TARGET

JOB NUMBER:
T2860

SIGN TYPE:
LAKE BLUFF IL

LOCATION:
**930 Carriage Park Ave
Lake Bluff, IL**

DATE:
11-01-13

DRAWN BY:
JMG

REVISION:
Number: 3 Date: 06/23/2015 By: JTR

SHEET:
8 OF 12 ENG DEPT

DWG NUMBER:
B51755

ENGINEER SEAL:

MAX DESIGN WIND SPEED 90 MPH
EXPOSURE C

THIS IS AN ORIGINAL UNPUBLISHED DRAWING
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REPRODUCED, OR EXHIBITED IN ANY FASHION.

VILLAGE OF LAKE BLUFF

Memorandum

TO: Chairman Hunter and Members of the Architectural Board of Review

FROM: Mike Croak, Building Codes Supervisor

DATE: July 2, 2015

SUBJECT: **Agenda Item #7 – Consideration of a Sign Permit Application for Athletico Physical Therapy at 233 S Waukegan Road, Suite 100.**

Accelerated Physical Therapy was recently acquired by Athletico Physical Therapy. They have submitted a sign permit application to change six signs in Carriage Way to the new name.

The proposed signs include the following: two wall signs consisting of white illuminated channel letters with blue returns—one facing the courtyard and one facing Route 176, a window sign consisting of vinyl lettering, a door sign, and 4 tenant panels, one on each side of the two multi-tenant monument signs.

The background of the monument sign panels is proposed to be blue. Currently, the other tenant sign panels have dark green backgrounds, except for Chase and Heinen's which have black backgrounds. The background is labeled translucent on the drawing, but would need to be revised to opaque to comply with the sign code.

The following is a chart summarizing the measurements of the proposed signs:

Sign Code (L-1)	Proposed Signage
1.) Two wall signs are permitted on a corner lot	Complies—2 wall signs proposed
2.) Allowable area for the wall signs is square feet	Complies – the proposed wall sign is 4.4 sq ft
3) Window signs not permitted in the L-1	Exemption Required
4) Door sign is permitted if lettering is no taller than 5"	Complies—3.5" tall lettering
5) Multi-tenant Monument Sign	Opaque Background Required

Recommendation:

The ABR has the authority to:

- Recommend the Village Board grant or deny an exemption from the Sign Code regulations for the signage as presented;
- Approve a sign permit (with conditions) that complies with all Code regulations; or
- Deny the sign permit.

The petitioner will be in attendance at Tuesday's meeting to respond to questions from the ABR. If you should have any questions regarding this matter, please feel free to contact me at 847-283-6885.

**APPLICATION AND SIGN PERMIT
LAKE BLUFF, ILLINOIS**

PERMANENT AND TEMPORARY SIGNS

Applicant:	<i>Athletico LTD.</i>
Mailing Address:	<i>625 Enterprise Dr., Oak Brook, IL 60523</i>
Telephone:	<i>630-575-6200</i>
Proposed Sign Location:	<i>233 Waukegan</i>
Permanent or Temporary Sign:	<i>Permanent</i>
Type of Sign (window, wall, ground etc.):	<i>Wall</i>
Sign Company - Name and Phone:	<i>South Water Signs 630-333-4900</i>
Contact Individual Regarding Project:	<i>Karen Dodge 630-978-4110</i>

→ *Karen. Dodge @ municipal resolutions.com*

APPLICATION REQUIREMENTS

Permanent Signs Requiring Approval by the Architectural Board of Review or the Village Board

- A scaled drawing showing the lot and building(s) and structure(s) to which the sign(s) is/are to be attached or erected. The exact position of the sign(s) must be noted on the drawing, including the height of sign above grade, as applicable
- A scaled drawing or plan of the sign(s) showing construction details for the sign(s) including all dimensions including; letter sizes and styles, foundation and/or mounting materials, and sign height and width.
- A concise description of the construction materials and colors of all sign components.
- A detail of type and intensity of any lighting or illumination.
- Thirteen (13) copies are required if the proposal is in color and/or larger than 11x17.

Temporary Signs Requiring Approval by the Village Administrator

- A description of the location of the sign.
- A date when the sign will be erected and when it will be removed.
- A description of the type of sign, the sign materials and the sign size (lighting of temporary signs is prohibited).

NOTICE: Upon receipt of a completed application, including all related drawings and materials, a review date will be provided. The applicant or their designee must attend the review meeting. The Architectural Board of Review generally meets the first Tuesday of each month.

A fee of \$150.00 shall be charged for all permanent sign permit applications. The fee shall be paid at the time of application. Checks should be made payable to the Village of Lake Bluff.

Exterior Site Plan | Summary



Sign	Existing Sign	SF	Recommended Sign	SF
E-01	Main ID	25.8	APT-S-21-W-F	35.6
E-02	Secondary ID	25.8	APT-S-21-W-F	35.6
E-03	Tenant / Pylon Sign		Replacement Face	
E-04	Tenant / Pylon Sign		Replacement Face	
E-05	Door Vinyl		Door Vinyl Graphics	
E-06	None		Service Window Vinyl Graphics	
E-07	Interior Sign		Aluminum Plaque	

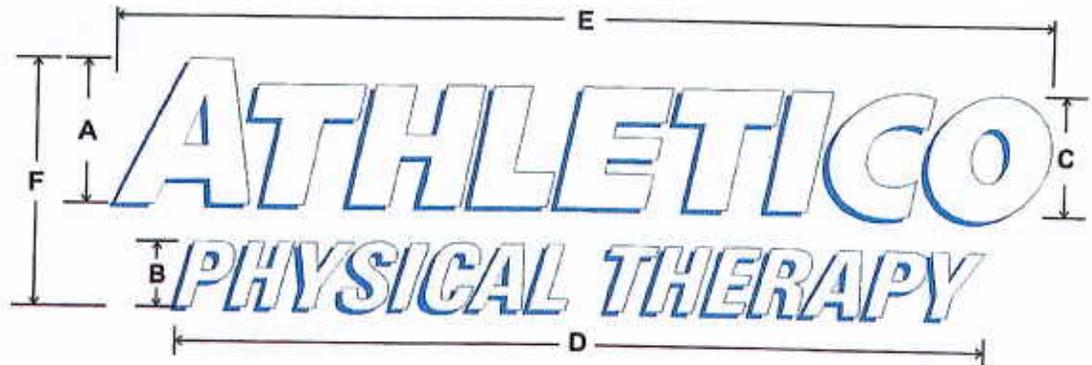


	934 N. Church Road Elmhurst, IL 80126 P 630.333.4900	F 630.333.4915	Revision notes: 06.22.15 FK 06.22.15 FK 06.22.15 FK		Client: Athletico	Drawn by: AV
					Unit ID #: 100	Checked by: -
					SWS Job#: 7012514	Scale: NTS
					Title: Aerial	Revision: 02.09.15 AV
					Date: 01.22.16	Page: 2

06 23 15 *RS*

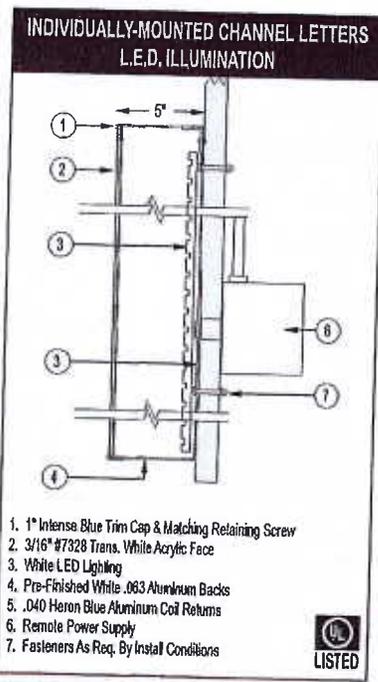
Illuminated Channel Letters

White Faces - Stacked - Flush Mount



- Face lit 5" Deep fabricated channel letters
- .040 Heron Blue Aluminum coil returns (white interior)
- Cinched .063 pre-finished white backs
- 3/16" #7328 White acrylic with 1" Std. Intense Blue Trimcap
- AgiLight Pro 115 White LED illumination
- UL Listed, Dedicated 20 amp Breaker & Disconnect as req.
- Mounted flush to exterior wall with necessary hardware based on installation conditions

- Colors to Match**
- Faces #7328 White Acrylic
 - Trim Cap - Jewelite Intense Blue
 - Returns - .040 Coil Pre-Finished Heron Blue



Part No.	A	B	C	D	E	F	SQ. FT
APT-S-21-W-F	21"	9-1/2"	17-1/2"	9' 9-1/2"	11' 4-5/8"	3' 1/4"	34.4
APT-S-25-W-F	25"	11-3/8"	20-3/4"	11' 8"	13' 6-3/4"	3' 6-3/8"	48.4
APT-S-31-W-F	31"	14-1/8"	25-3/4"	14' 5-1/2"	16' 9-3/4"	4' 5-1/8"	74.4
APT-S-35-W-F	35"	16"	29"	16' 3-7/8"	18' 11-3/4"	5' 0"	94.9
APT-S-43-W-F	43"	19-5/8"	35-3/4"	20' 3/4"	23' 3-7/8"	6' 1-3/4"	143.2
APT-S-52-W-F	52"	23-5/8"	43-1/4"	24' 3-1/8"	28' 2-3/8"	7' 5-1/8"	209.5

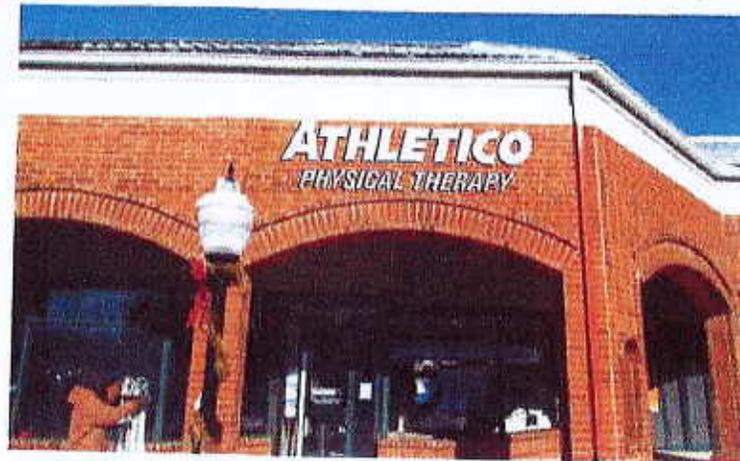
**All measurements rounded to nearest 1/8"

The Athletico Sign 2015 Program - Sign Family E-mail: RM Tel: 12.17.14 Last Revision: 05.21.15	<p style="text-align: center;">SOUTH WATER</p> <p style="text-align: center;">SIGN S</p> 934 N Church Elmhurst, IL 60126 Tel: 630.333.4900 Fax: 630.333.4915
---	--

E01 - Main ID Sign



Existing Sign - Flush Mounted Channel Letters



Proposed Sign



Part No.	A	B	C	D	E	F	SQ. FT
APT-S-21 W-F	21"	11-1/8"	17-1/2"	-	11' 4-5/8"	3' 1-1/2"	35.6

Colors to Match

Faces
#7328 White Acrylic

Trim Cap - Jewelite
Intense Blue

Returns - .040 Coll
Pre-Finished Heron Blue



MEMBER
LISTED
934 N. Church Road
Elmhurst, IL 60126
P 630.333.4900

ALLSOUTH SIGNWORKS
A SIGNWORKS COMPANY
2000 W. 111th Street
Mokena, IL 60450
F 630.333.4915

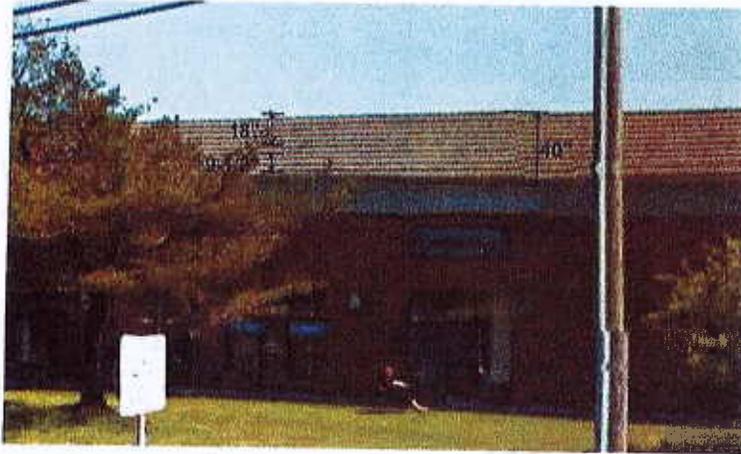
Revision notes:
06.22.15 FK
06.22.15 FK
06.22.15 FK

ATHLETICO
PHYSICAL THERAPY

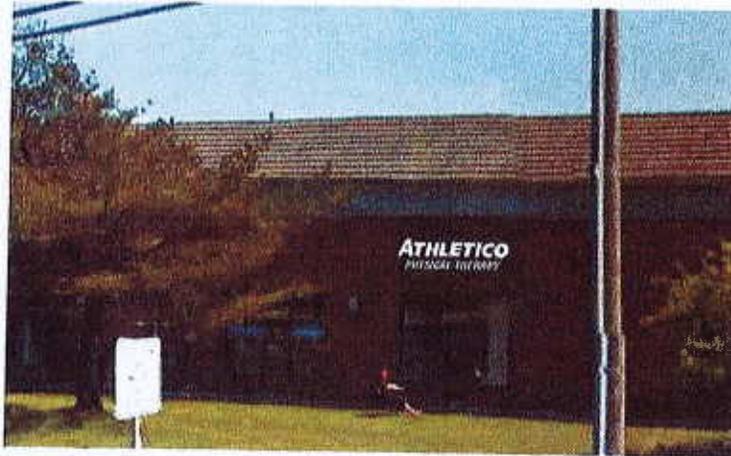
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Unit ID #	100	Checked by:	-
SWS Job #	7012614	Scale:	NTS
Title:	Main ID Sign	Revised:	02.09.15 AV
Date:	01.22.15	Page:	3

06 23 15

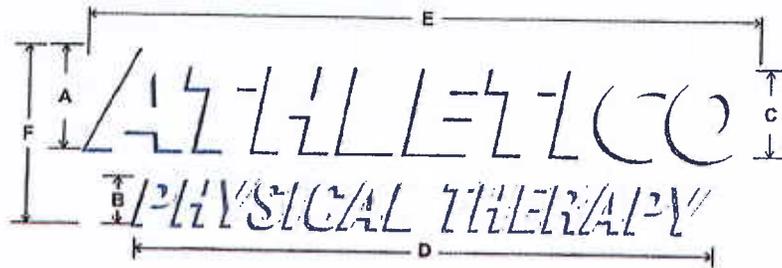
E01 - Main ID Sign



Existing Sign - Flush Mounted Channel Letters



Proposed Sign



Colors to Match

Faces
#7328 White Acrylic

Trim Cap - Jewelite
Intense Blue



Returns - .040 Coll
Pre-Finished Heron Blue



Part No.	A	B	C	D	E	F	SQ. FT
APT-S-21-W/F	21"	11-1/8"	17-1/2"	-	11' 4-5/8"	3' 1-1/2"	35.6

MEMBER
UL LISTED
934 N. Church Road
Elmhurst, IL 60126
P 630.333.4900

F 630.333.4915

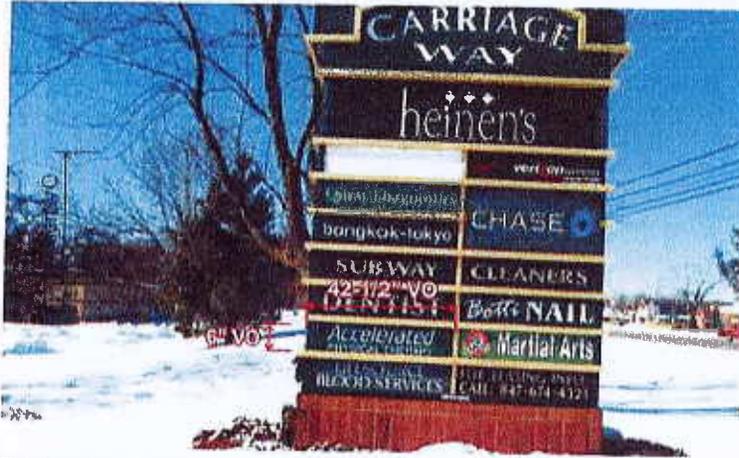
Revision notes:
06.22.15 FK
06.22.15 FK
06.22.15 FK



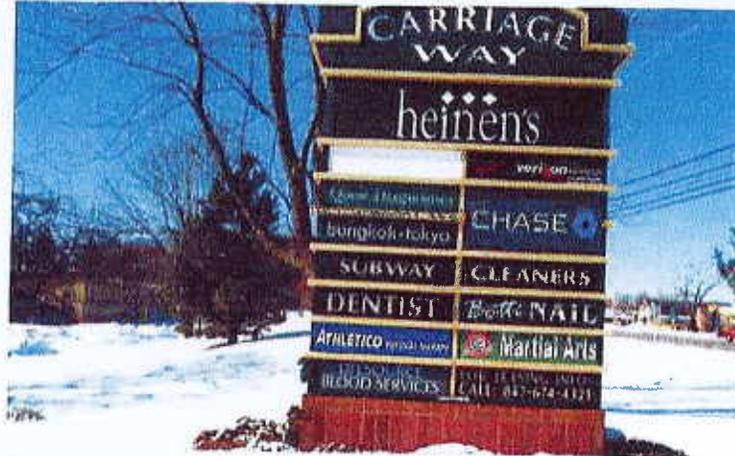
Client:	Athletico	Drawn by:	AV
Unit ID #	100	Checked by:	-
SIWS Job #	7012514	Scale:	NTS
Title:	Main ID Sign	Revision:	02.09.16 AV
Date:	01.22.15	Page:	4

06 23 15 [Signature]

E02 - Multi-Tenant/Pylon ID Sign - Rt 176



Existing Sign - Double Sided Pylon



Proposed Sign



Cut Size - 45-1/2" x 9"H

Replacement Face/Insert

Replace panel with new .1875 polycarb panel with applied reverse cut, translucent vinyl graphics

Colors to Match

Translucent Oracal
Azure Blue #052



  <p>ALL PERSONS PRESENTED TO THE PUBLIC BY SOUTH WATER SIGNS, INC. AND ANY WATER REPRESENTATIVE OR AGENT ARE SUBJECT TO THE FOLLOWING:</p>	<p>Revision notes: 06.22.15 FK 06.22.15 FK 06.22.15 FK</p>			Client: Athletico	Drawn by: AV
				Unit ID #: 100	Checked by: -
<p>834 N. Church Road Elmhurst, IL 60126 P 630.333.4900</p> <p>F 630.333.4915</p>		SWS Job#: 7012514	Scale: NTS		
		Title: Monument/Pylon	Revision: 02.09.15 AV		
		Date: 01.22.15	Page: 5		

06 23 15 BJ

E03 - Multi-Tenant/Pylon ID Sign - Hwy 43



Existing Sign - Double Sided Pylon



Proposed Sign



Cut Size - 45-1/2" x 9"H

Replacement Face/Insert

Replace panel with new .1875 polycarb panel with applied reverse cut, translucent vinyl graphics

Colors to Match

Translucent Oracal
Azure Blue #052



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		<p>Client: Athleticco</p> <p>Unit ID #: 100</p> <p>SWS Job#: 7012514</p> <p>Title: Monument/Pylon</p> <p>Date: 01.22.15</p>	<p>Drawn by: AV</p> <p>Checked by: -</p> <p>Scale: NTS</p> <p>Revision: 02.09.15 AV</p> <p>Page: 6</p>

06 23 15

E04 - Main Entry Door Vinyl Graphics



Main Entry Door

Remove existing vinyl graphics, replace with new as indicated



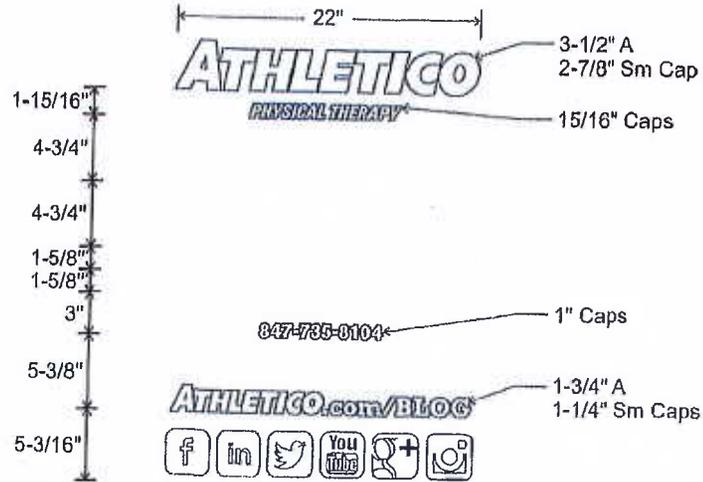
Entry Door Static Cling No Smoking/Gun Control

State Issued standard graphic and size - first surface static cling graphic

**Placement will require removal of etchmark film for visibility

Qty 1 Set of graphics

Decals must be posted in a conspicuous location on the premises.



Clear Glass Window Application

1-1/2" = 1'

Second surface applied std white gloss white vinyl graphics with second layer applied blue outline - 1/8" Outside Contour

Colors to Match

Translucent Orcaal
Azure Blue #052



Std. Matte White

MEMBER
UL LISTED
934 N. Church Road
Elmhurst, IL 60126
P 630.333.4900

F 630.333.4915

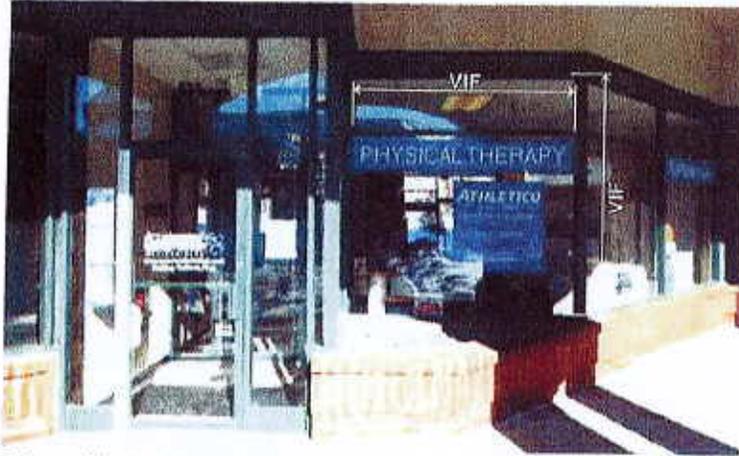
Revision notes:
06.22.15 FK
06.22.15 FK
06.22.15 FK

ATHLETICO
PHYSICAL THERAPY

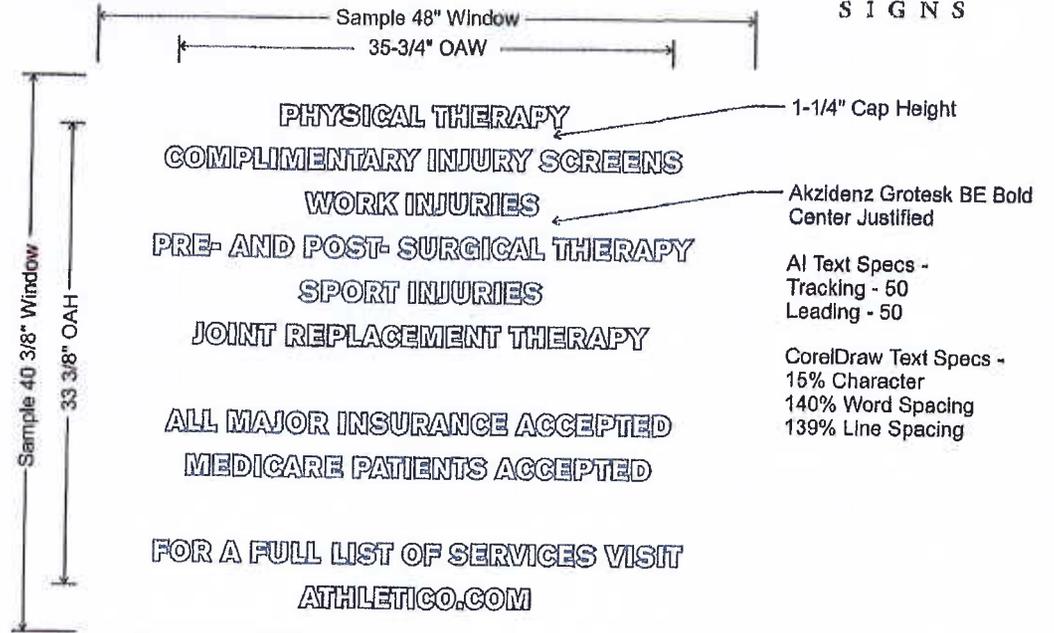
Client:	Athleico	Drawn by:	AV
Unit ID #	100	Checked by:	-
SWS Job#	7012514	Scale:	NTS
Title:	Main Entry Vinyl	Revision:	02.09.15 AV
Date:	01.22.16	Page:	7

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E05 - Main Window for Graphics



Primary Window ID Graphics
Install new vinyl graphics on window, second surface centered in location



*Vertical Alignment Specifications Req.**

Clear Glass Window Application
1-1/2" = 1'

First surface applied std white gloss white vinyl graphics
with second layer applied blue outline - 1/8" Outside Contour

Colors to Match

Translucent Oracal
Azure Blue #052

Std. Matte White

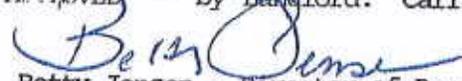
  <p>ALL DESIGNS PREPARED ARE THE SOLE PROPERTY OF SOUTH WATER SIGNS, INC. AND MAY NOT BE REPRODUCED OR PART OF ANY OTHER CONTRACT WITHOUT PERMISSION FROM SOUTH WATER SIGNS, INC.</p>	<p>Revision notes: 06.22.15 FK 06.22.15 FK 06.22.15 FK</p>		Client: Athletico	Drawn by: AV
			Unit ID #: 100	Checked by: -
<p>934 N. Church Road Elmhurst, IL 60126 P 630.333.4900</p> <p>F 630.333.4915</p>			SWS Job#: 7012514	Scale: NTS
			Title: Window Services	Revision: 02.09.15 AV
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ATHLETICO PHYSICAL THERAPY

100
233 Waukegan Rd
Lake Bluff, IL

APPROVED -- by Landlord: Carriage Way, LLC - The Taxman Corporation as its Agent



Betty Jensen - Director of Property Management

June 23, 2015

Page 1 of 9 (following pages have approval initials)

SOUTH WATER



S I G N S

06.22.15
7012514-100



VILLAGE OF LAKE BLUFF

Memorandum

TO: Chairman Hunter and Members of the Architectural Board of Review

FROM: Mike Croak, Building Codes Supervisor

DATE: July 2, 2015

SUBJECT: **Agenda Item #9 – A Discussion Regarding the Possibility of ABR Review of New Single Family Homes**

At the June 2 Architectural Board of Review meeting, the Board began a discussion of the possibility of ABR review of new single family homes in order to respond to concerns about changing neighborhood character in the community.

Among the possibilities discussed:

- review of all new houses,
- review of speculative new homes only,
- review of only new infill houses (houses which replaced demolished homes), or
- no change to the existing code.

The ABR had asked for some examples of design guidelines from other communities. Links to some examples are below:

Lake Forest's residential design guidelines:

<http://lfpf.org/sites/default/files/file-uploads/residential-design-guidelines.pdf>

Highland Park's Design Review Guidelines are oriented toward commercial development:

<http://il-highlandpark.civicplus.com/DocumentCenter/Home/View/403>

Deer Valley Utah:

<http://www.theoaksonline.net/pdf/Deer-Valley-Design-Guidelines.pdf>

Deer Path Farm has interesting design guidelines, although in some respects perhaps too prescriptive for a municipality:

<http://www.deerpathfarm.com/custom-homes/documents/>

Winston-Salem North Carolina has extensive design guidelines, although in some respects focused on different issues than ours

https://www.cityofws.org/portals/0/pdf/planning/publications/legacy/concepts/TND_Guidelines.pdf

Austin, Texas:

<https://www.austintexas.gov/department/residential-design-compatibility-standards>

Recommendation:

The ABR should make a recommendation to the Village Board.